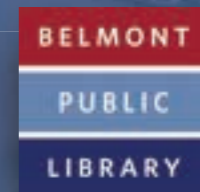


# Belmont Public Library

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Library Building Committee Meeting #10  
July 11, 2023



## Agenda

1. Welcome Public
2. Approve 6/13/2023 Meeting Minutes
3. Invoices
4. Project Update
5. Design Update
  - a. Schedule
  - b. Building Square Footage Comparison
  - c. 100% Design Development Deliverable
  - d. Exterior and Interior Updates
  - e. Food & Beverage / Grab-and-Go
6. Public Comment
7. Adjourn

We are here

DESIGN MOBILIZATION

Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec Jan Feb

Design Development  
6 months

- Geotech. 5/3 - Complete Geotech Report
- 3/10 - Issue 30% DD Set
- Cost Update - CHA only
- Cost Update Complete
- 4/25 - Public Forum

- 6/30 - Issue 100% DD Pricing Set
- Cost Estimate #2 - CHA & Design Team
- Estimate Review / Reconciliation

Construction Documents  
5.5 months

Town Approvals - 4 Months

Prepare DSPR & Conservation Commission Submissions

Preliminary Meeting with Town Agencies & Stakeholders

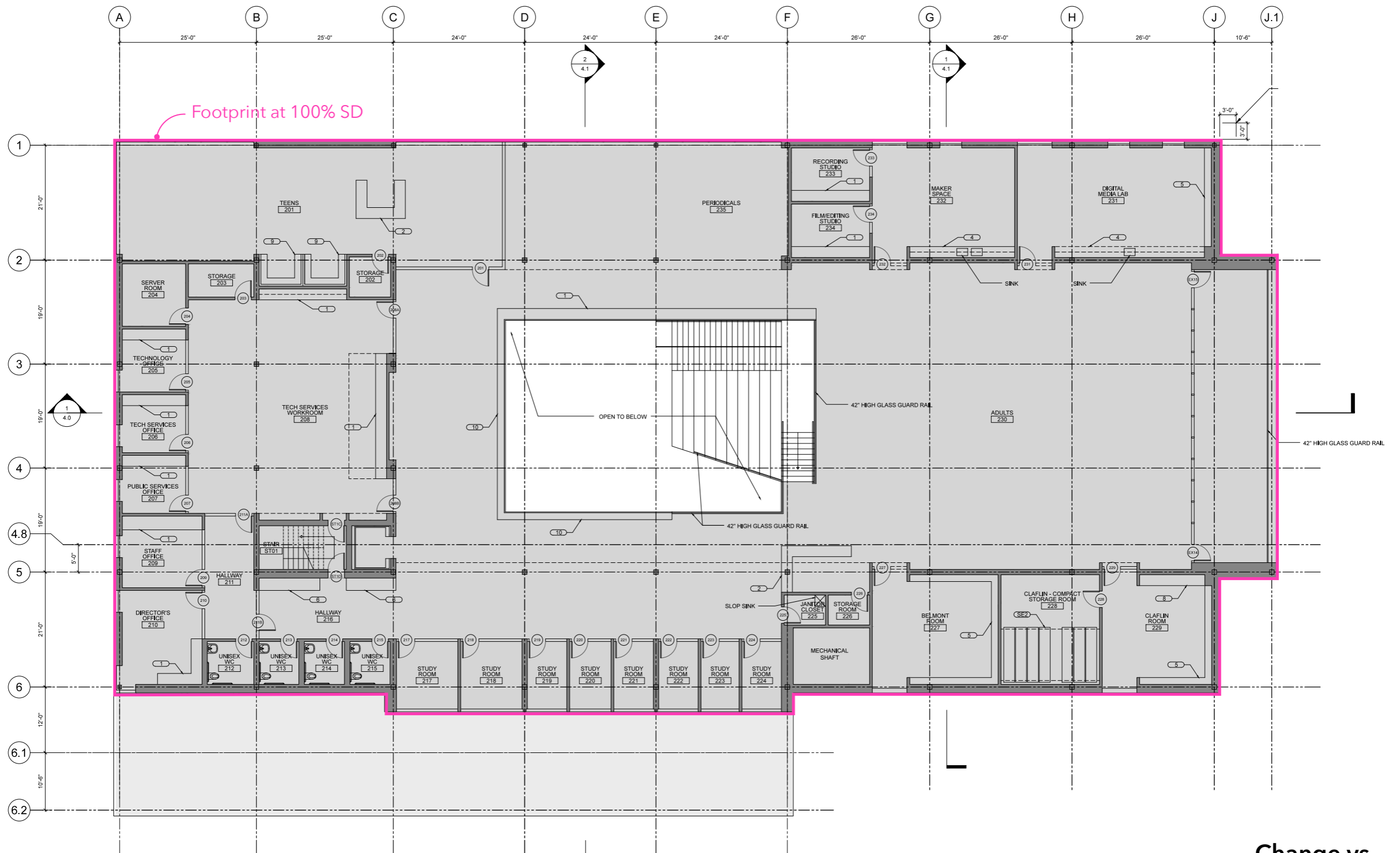
DSPR Process

- 7/24 DSPR Application Submission
- 9/5 Planning Board Meeting #1
- 10/3 Planning Board Meeting #2
- 10/17 Planning Board Meeting #3 & Approval
- 11/6 Decision Filed with Town Clerk

Conservation Commission Process

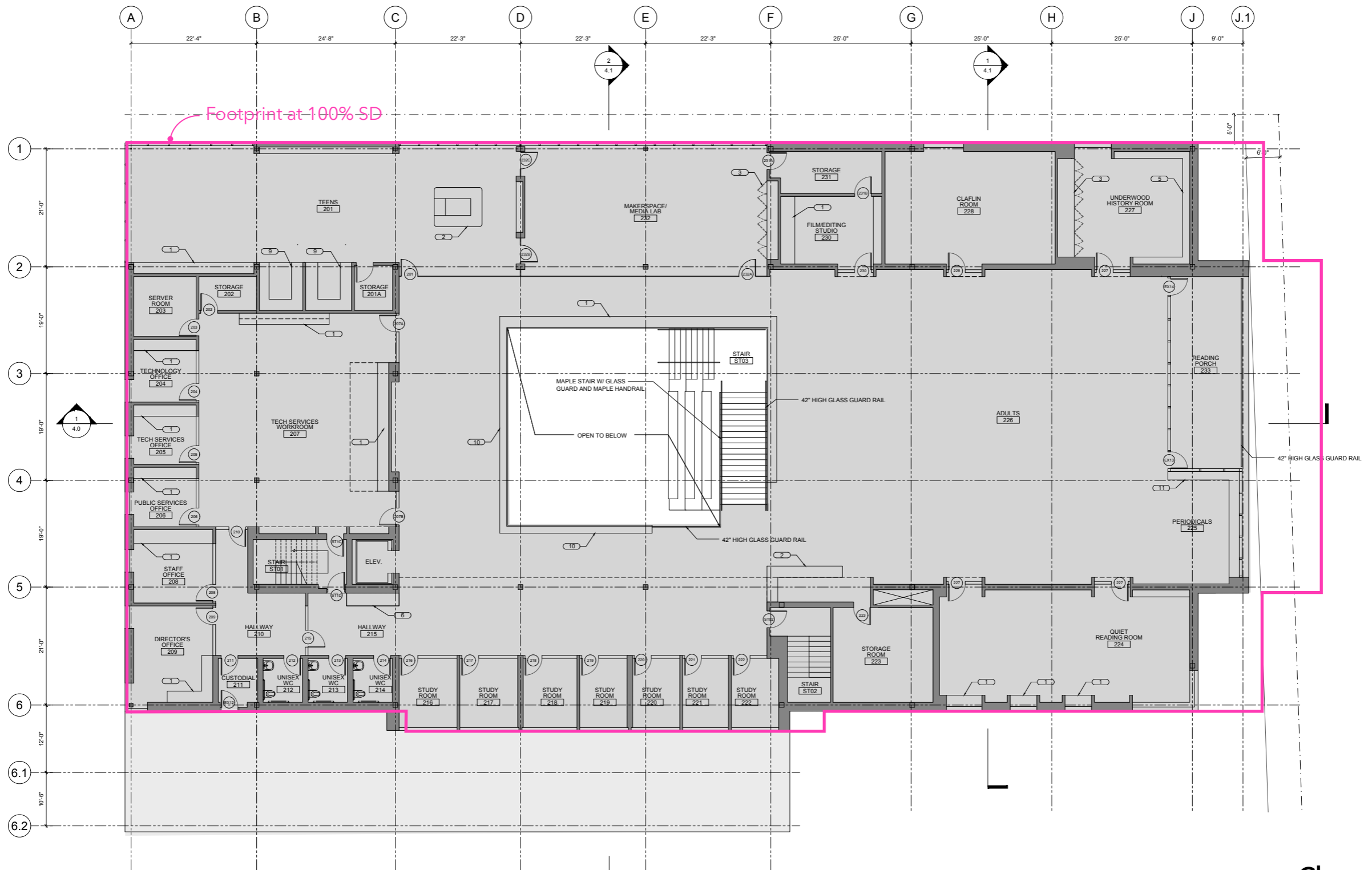
- 7/31 Conservation Commission NOI
- 8/29 ConComm Meeting #1
- 9/26 ConComm Meeting #2
- 10/24 ConComm Meeting #3 & Approval

HOLIDAYS



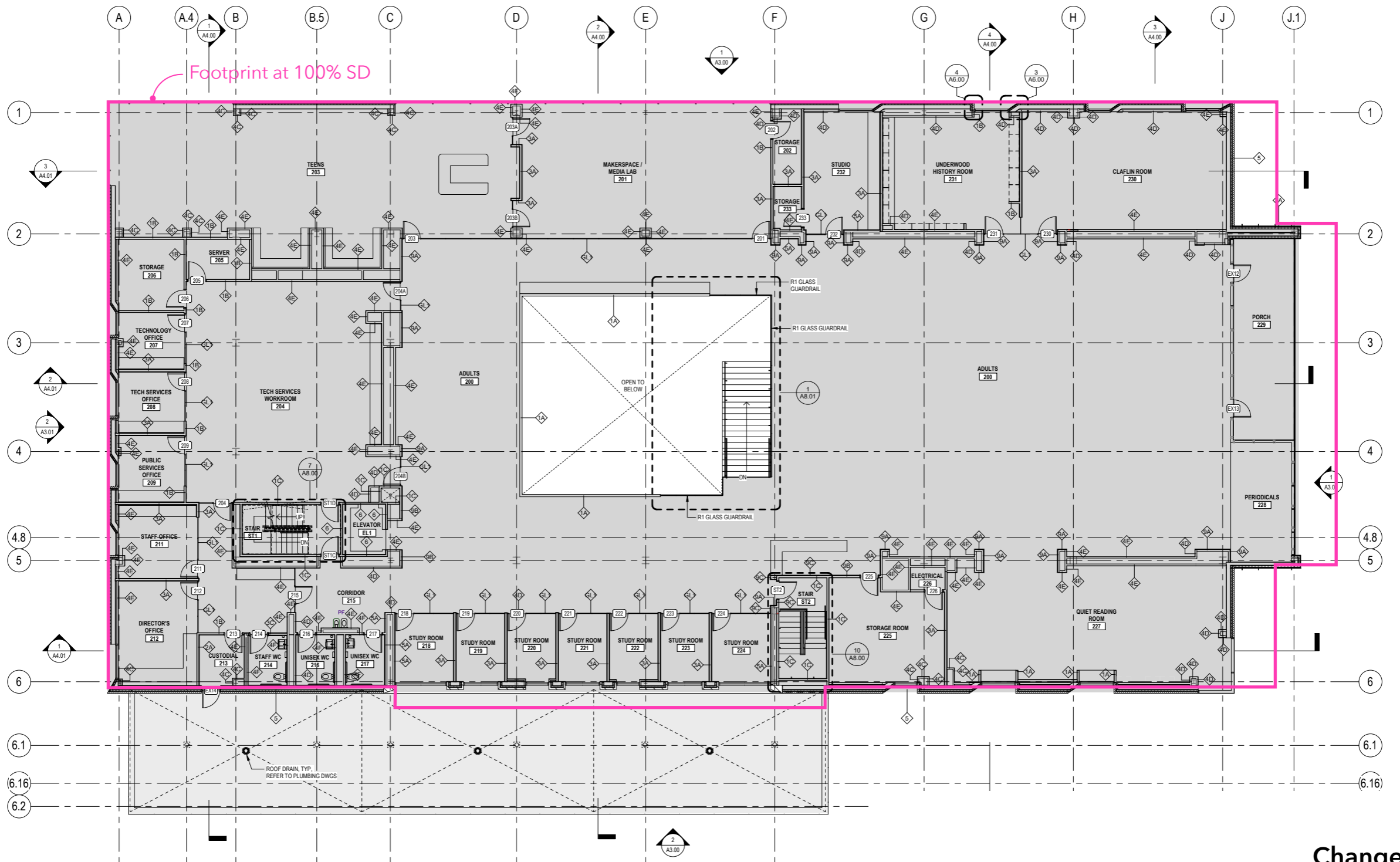
Milestone	Area	Change vs. 100% SD
100% SD	41,500 sf	—

Square Footage Comparison 100% SD (2019)



Milestone	Area	Change vs. 100% SD
100% SD	41,500 sf	-
30% DD	39,050 sf	-1,595 sf

Square Footage Comparison 30% DD (March 2023)



Milestone	Area	Change vs. 100% SD
100% SD	41,500 sf	—
30% DD	39,050 sf	-1,595 sf
100% DD	40,460 sf	-1,140 sf

Square Footage Comparison 100% DD (July 2023)

# BELMONT PUBLIC LIBRARY

336 CONCORD AVE, BELMONT, MA 02478



100% DESIGN DEVELOPMENT  
JUNE 30, 2023



**OUDENS ELLO ARCHITECTURE, LLC**  
46 WALTHAM STREET, SUITE 4A  
BOSTON, MA 02118  
T. 617.422.0980

- |   |  |   |   |   |  |  |   |   |   |
|---|--|---|---|---|--|--|---|---|---|
| <b>CIVIL ENGINEER</b><br>NITSCH ENGINEERING<br>2 CENTER PLAZA, SUITE 430<br>BOSTON, MA 02108<br>T: 617.338.0063 | <b>LANDSCAPE ARCHITECT</b><br>STIMSON<br>288 NORFOLK ST.<br>CAMBRIDGE, MA 02139<br>T: 617.876.8960 | <b>STRUCTURAL ENGINEER</b><br>LEMESSURIER<br>1380 SOLDIERS FIELD RD.<br>BOSTON, MA 02135<br>T: 617.868.1200 | <b>EXTERIOR ENVELOPE</b><br>SGH<br>800 BOYLSTON ST, SUITE 2320<br>BOSTON, MA 02199<br>T: 617.963.5400 | <b>SUSTAINABILITY</b><br>THE GREEN ENGINEER<br>23 BRADFORD ST<br>CONCORD, MA 01742<br>T: 978.369.8978 | <b>MEP/FP ENGINEER</b><br>WSP<br>100 SUMMER ST., 13TH FLOOR<br>BOSTON, MA 02110<br>T: 617.426.7330 | <b>LIGHTING</b><br>HLB LIGHTING DESIGN<br>233 LEWIS WHARF<br>BOSTON, MA 02110<br>T: 617.229.5190 | <b>CODE/LIFE SAFETY</b><br>CODE RED CONSULTANTS<br>154 TURNPIKE RD., SUITE 200<br>SOUTHBOROUGH, MA 01772<br>T: 617.500.7633 | <b>ACOUSTICS</b><br>ACENTECH<br>33 MOULTON ST<br>CAMBRIDGE, MA 02138<br>T: 617.499.8000 | <b>SPECIFICATIONS</b><br>KALIN ASSOCIATES<br>1121 WASHINGTON ST.<br>NEWTON, MA 02465<br>T: 617.964.5477 |
|---|--|---|---|---|--|--|---|---|---|

## OWNER

TOWN OF BELMONT  
19 MOORE STREET  
BELMONT, MA 02478  
T: 617.993.2640

## OWNER'S PROJECT MANAGER

CHA CONSULTING  
1 WASHINGTON MALL, SUITE 1500  
BOSTON, MA 02108  
T: 617.451.2717



LOCUS PLAN (N.T.S.)



# BELMONT PUBLIC LIBRARY

336 CONCORD AVE, BELMONT, MA 02478



## PROJECT MANUAL

100% DESIGN DEVELOPMENT  
JUNE 30, 2023

### OWNER:

**TOWN OF BELMONT**  
455 CONCORD AVENUE  
BELMONT, MA 02478  
T: 617.993.2640

### OWNER'S PROJECT MANAGER:

**CHA CONSULTING, INC**  
1 WASHINGTON MALL, SUITE 1500  
BOSTON, MA 02108  
T: 617.451.2717

**OUDENS ELLO ARCHITECTURE LLC**  
46 WALTHAM STREET, SUITE 4A  
BOSTON, MA 02118  
T. 617.422.0980

**CIVIL ENGINEER**  
NITSCH ENGINEERING  
2 CENTER PLAZA, SUITE 430  
BOSTON, MA 02108  
T: 617.338.0063

**LANDSCAPE ARCHITECT**  
STIMSON  
288 NORFOLK ST.  
CAMBRIDGE, MA 02139  
T: 617.876.8960

**STRUCTURAL ENGINEER**  
LEMESSURIER  
1380 SOLDIERS FIELD RD.  
BOSTON, MA 02135  
T: 617.868.1200

**MEP/FP ENGINEER**  
WSP  
100 SUMMER ST., 13TH FLOOR  
BOSTON, MA 02110  
T: 617.426.7330

**LIGHTING DESIGN**  
HLB  
233 LEWIS WHARF  
BOSTON, MA 02110  
T: 617.229.5190

**EXTERIOR ENVELOPE**  
SGH  
800 BOYLSTON ST, SUITE 2320  
BOSTON, MA 02199  
T: 617.963.5400

**SUSTAINABILITY**  
THE GREEN ENGINEER  
23 BRADFORD ST  
CONCORD, MA 01742  
T: 978.369.8978

**ACOUSTICS**  
ACENTECH  
33 MOULTON ST  
CAMBRIDGE, MA 02138  
T: 617.499.8000

**CODE CONSULTANT**  
CODE RED CONSULTANTS  
154 TURNPIKE ROAD, SUITE 200  
SOUTHBOROUGH MA 01772  
T: 617.500.7633

**SPECIFICATIONS**  
KALIN ASSOCIATES  
21 ELIOT ST  
NATICK, MA 01760  
T: 617.964.5477

Specifications issued for pricing on 7/7/23

Drawings issued for pricing on 6/30/23

# DRAWING LIST

SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME
<b>GENERAL</b>		<b>ARCHITECTURAL</b>		<b>MECHANICAL</b>		<b>TELECOM</b>	
G1.0	DRAWING INDEX, ABBREVIATIONS, GENERAL NOTES	A0.01	LEVEL 1 SLAB EDGE PLAN	M0.00	MECHANICAL LEGEND	TT-001	TELECOM SHEET LIST
G2.0	ADA REQUIREMENTS	A0.02	LEVEL 2 SLAB EDGE PLAN	M0.01	MECHANICAL GENERAL NOTES	TT-002	TELECOM ABBREVIATIONS, NOTES & SYMBOLS PAGES
<b>CIVIL</b>		A0.03	PENTHOUSE/LOW ROOF SLAB EDGE PLAN	M1.01	MECHANICAL GROUND FLOOR PLAN	TT-003	TELECOM ABBREVIATIONS, NOTES & SYMBOLS PAGES
C0.0	CIVIL NOTES, ABBREVIATIONS, AND LEGEND	A0.04	HIGH ROOF SLAB EDGE PLAN	M1.02	MECHANICAL SECOND FLOOR PLAN	TT-004	TELECOM SCOPE OF WORK
C1.0	SITE EROSION AND SEDIMENT CONTROL PLAN	A1.01	LEVEL 1 FLOOR PLAN	M1.03	MECHANICAL LOW ROOF PLAN	TT-101	TELECOM OVERALL PLAN - LEVEL 1
C2.0	SITE UTILITY DEMOLITION PLAN	A1.02	LEVEL 2 FLOOR PLAN	M2.01	MECHANICAL VRF PIPING DIAGRAM	TT-102	TELECOM OVERALL PLAN - SECOND FLOOR
C3.0	SITE UTILITY AND DRAINAGE PLAN	A1.03	PENTHOUSE / LOW ROOF PLAN	M3.01	MECHANICAL DETAILS	TT-103	TELECOM OVERALL PLAN - PENTHOUSE / LOW ROOF
C4.0	SITE EROSION AND SEDIMENT CONTROL DETAILS	A1.04	HIGH ROOF PLAN	M3.02	MECHANICAL DETAILS	TT-104	TELECOM OVERALL PLAN - HIGH ROOF
C4.1	SITE UTILITY DETAILS	A1.11	LEVEL 1 FINISH PLAN	M3.03	MECHANICAL DETAILS	TT-400	TELECOM ENLARGED PLAN
C4.2	SITE UTILITY DETAILS	A1.12	LEVEL 2 FINISH PLAN	M4.01	MECHANICAL SCHEDULES	TT-500	TELECOM PATHWAY RISER DIAGRAM
<b>LANDSCAPE</b>		A1.20	ENLARGED BATHROOM PLANS	M5.00	MECHANICAL CONTROLS	TT-600	TELECOM DETAILS
L0.0	TREE PROTECTION PLAN	A2.01	LEVEL 1 REFLECTED CEILING PLAN	M5.01	MECHANICAL CONTROLS	TT-601	TELECOM DETAILS
L1.0	LAYOUT PLAN	A2.02	LEVEL 2 REFLECTED CEILING PLAN	M5.02	MECHANICAL CONTROLS	TT-602	TELECOM DETAILS
L2.0	MATERIALS PLAN	A2.03	PENTHOUSE REFLECTED CEILING PLAN	<b>ELECTRICAL</b>		TT-603	TELECOM DETAILS
L3.0	GRADING PLAN	A3.00	EXTERIOR ELEVATIONS	E0.00	ELECTRICAL LEGEND AND ABBREVIATIONS	TT-604	TELECOM DETAILS
L4.0	SOILS PLAN	A3.01	EXTERIOR ELEVATIONS	E1.01	ELECTRICAL GROUND FLOOR POWER PLAN	<b>SECURITY</b>	
L5.0	PLANTING PLAN	A4.00	BUILDING SECTIONS	E1.02	ELECTRICAL SECOND FLOOR POWER PLAN	TY-001	SECURITY SHEET LIST
L5.1	PLANTING DETAILS	A4.01	BUILDING SECTIONS	E1.03	ELECTRICAL LOW ROOF POWER PLAN	TY-002	SECURITY ABBREVIATIONS, NOTES & SYMBOLS PAGE
L6.0	DETAILS	A5.00	WALL SECTIONS	E1.04	ELECTRICAL HIGH ROOF POWER PLAN	TY-101	SECURITY OVERALL PLAN - LEVEL 1
L6.1	DETAILS	A5.01	WALL SECTIONS	E2.01	ELECTRICAL GROUND FLOOR MECHANICAL EQIP PLAN	TY-102	SECURITY OVERALL PLAN - SECOND FLOOR
L6.2	DETAILS	A6.00	TYPICAL EXTERIOR DETAILS	E2.02	ELECTRICAL SECOND FLOOR MECHANICAL EQIP PLAN	TY-103	SECURITY OVERALL PLAN - PENTHOUSE/LOW ROOF
<b>IRRIGATION</b>		A6.01	EXTERIOR DETAILS	E2.03	ELECTRICAL LOW ROOF MECHANICAL EQIP PLAN	TY-104	SECURITY OVERALL PLAN - HIGH ROOF
IR.100	IRRIGATION LAYOUT PLAN	A6.10	EXTERIOR PLAN DETAILS	E2.04	ELECTRICAL HIGH ROOF MECHANICAL EQIP PLAN	TY-400	SECURITY DIAGRAMS
IR.200	IRRIGATION DETAILS - 1	A7.00	INTERIOR ELEVATIONS	E3.01	ELECTRICAL LEVEL 1 REFLECTED CEILING PLAN	TY-500	SECURITY CAMERA SCHEDULE
IR.201	IRRIGATION DETAILS - 2	A7.01	INTERIOR ELEVATIONS	E3.02	ELECTRICAL LEVEL 2 REFLECTED CEILING PLAN	TY-600	SECURITY DETAILS
<b>STRUCTURAL</b>		A7.02	INTERIOR ELEVATIONS	E4.01	ELECTRICAL GROUND FLOOR FIRE ALARM PLAN	TY-601	SECURITY DETAILS
S0.00	AXONOMETRIC	A7.03	INTERIOR ELEVATIONS	E4.02	ELECTRICAL SECOND FLOOR FIRE ALARM PLAN	TY-602	SECURITY DETAILS
S0.01	GENERAL NOTES	A7.04	INTERIOR ELEVATIONS	E4.03	ELECTRICAL LOW ROOF FIRE ALARM PLAN	TY-603	SECURITY DETAILS
S0.02	GENERAL NOTES AND ABBREVIATIONS	A7.05	INTERIOR ELEVATIONS	E4.04	ELECTRICAL HIGH ROOF FIRE ALARM PLAN	<b>AUDIOVISUAL</b>	
S0.03	LOADING DIAGRAMS	A7.06	INTERIOR ELEVATIONS	E5.00	ELECTRICAL POWER AND FIRE ALARM RISER DIAGRAM	TA-001	AUDIOVISUAL SHEET LIST
S0.04	LOADING DIAGRAMS	A7.07	INTERIOR ELEVATIONS	E6.00	ELECTRICAL SCHEDULES	TA-002	AUDIOVISUAL ABBREVIATIONS
S0.11	TYPICAL DETAILS	A7.08	INTERIOR ELEVATIONS	E7.00	ELECTRICAL DETAILS	TA-003	AUDIOVISUAL SCOPE OF WORK
S0.12	TYPICAL DETAILS	A8.00	STAIR / ELEVATOR PLANS AND SECTIONS	<b>PLUMBING</b>		TA-101	AUDIOVISUAL OVERALL PLAN - LEVEL 1
S0.13	TYPICAL DETAILS	A8.01	LIB COMMONS STAIR PLANS AND DETAILS	P0.00	PLUMBING LEGEND & SCHEDULES	TA-102	AUDIOVISUAL OVERALL PLAN - SECOND FLOOR
S0.14	TYPICAL DETAILS	A8.10	TYPICAL INTERIOR DETAILS	P1.00	PLUMBING UNDERGROUND PLAN	TA-201	AUDIOVISUAL OVERALL RCP - LEVEL 1
S0.15	TYPICAL DETAILS	A8.20	MILLWORK DETAILS	P1.01	PLUMBING GROUND FLOOR PLAN	TA-202	AUDIOVISUAL OVERALL RCP - SECOND FLOOR
S0.16	TYPICAL DETAILS	A8.21	MILLWORK DETAILS	P1.02	PLUMBING SECOND FLOOR PLAN	TA-203	AUDIOVISUAL OVERALL RCP - PENTHOUSE
S1.01	LEVEL 1 FOUNDATION PLAN	A8.22	MILLWORK DETAILS	P1.03	PLUMBING LOW ROOF PLAN	TA-400	AUDIOVISUAL ENLARGED PLAN
S1.02	LEVEL 2 FRAMING PLAN	A8.23	MILLWORK DETAILS	P1.04	PLUMBING HIGH ROOF PLAN	TA-401	AUDIOVISUAL ENLARGED PLAN
S1.03	LOW ROOF FRAMING PLAN	A8.24	MILLWORK DETAILS	P2.00	PLUMBING ENLARGED PLANS	TA-402	AUDIOVISUAL ENLARGED PLAN
S1.04	HIGH ROOF FRAMING PLAN	A8.25	MILLWORK DETAILS	P3.00	PLUMBING DETAILS	TA-403	AUDIOVISUAL ENLARGED PLAN
S3.01	COLUMN SCHEDULE	A8.30	SIGNAGE DETAILS	<b>FIRE PROTECTION</b>		TA-404	AUDIOVISUAL ENLARGED PLAN
S3.02	COLUMN DETAILS	A9.00	EXTERIOR WALL AND ROOF ASSEMBLIES	FP0.00	FIRE PROTECTION LEGEND & SCHEDULES	TA-500	AUDIOVISUAL SYSTEM BLOCK DIAGRAM
S4.01	MOMENT FRAME ELEVATIONS	A9.01	INTERIOR PARTITION TYPES	FP1.01	FIRE PROTECTION GROUND FLOOR PLAN	TA-501	AUDIOVISUAL SYSTEM BLOCK DIAGRAM
S4.02	MOMENT FRAME ELEVATIONS	A9.02	FLOOR AND CEILING ASSEMBLIES	FP1.02	FIRE PROTECTION SECOND FLOOR PLAN	TA-502	AUDIOVISUAL SYSTEM BLOCK DIAGRAM
S5.01	FOUNDATION AND SECTION DETAILS	A9.10	DOOR SCHEDULE & DOOR TYPES	FP1.03	FIRE PROTECTION LOW ROOF PLAN	TA-600	AUDIOVISUAL DETAILS
S6.01	SECTIONS AND DETAILS	A9.11	EXTERIOR WINDOW TYPES & DETAILS	FP2.00	FIRE PROTECTION DETAILS		
S6.02	SECTIONS AND DETAILS	A9.12	EXTERIOR WINDOW TYPES & DETAILS				
<b>DEMO</b>		A9.14	ROOM FINISH SCHEDULE				
D1.1	DEMOLITION SITE PLAN	A10.01	LEVEL 1 FURNITURE PLAN				
D1.2	DEMOLITION LEVEL 1 PLAN	A10.02	LEVEL 2 FURNITURE PLAN				
D1.3	DEMOLITION LEVEL 2 PLAN						





Civil, Mechanical, Electrical, Plumbing, Fire Protection, Energy, and Sustainability  
 100% Schematic Design 08.09.2019  
 100% Design Development 08.30.2023

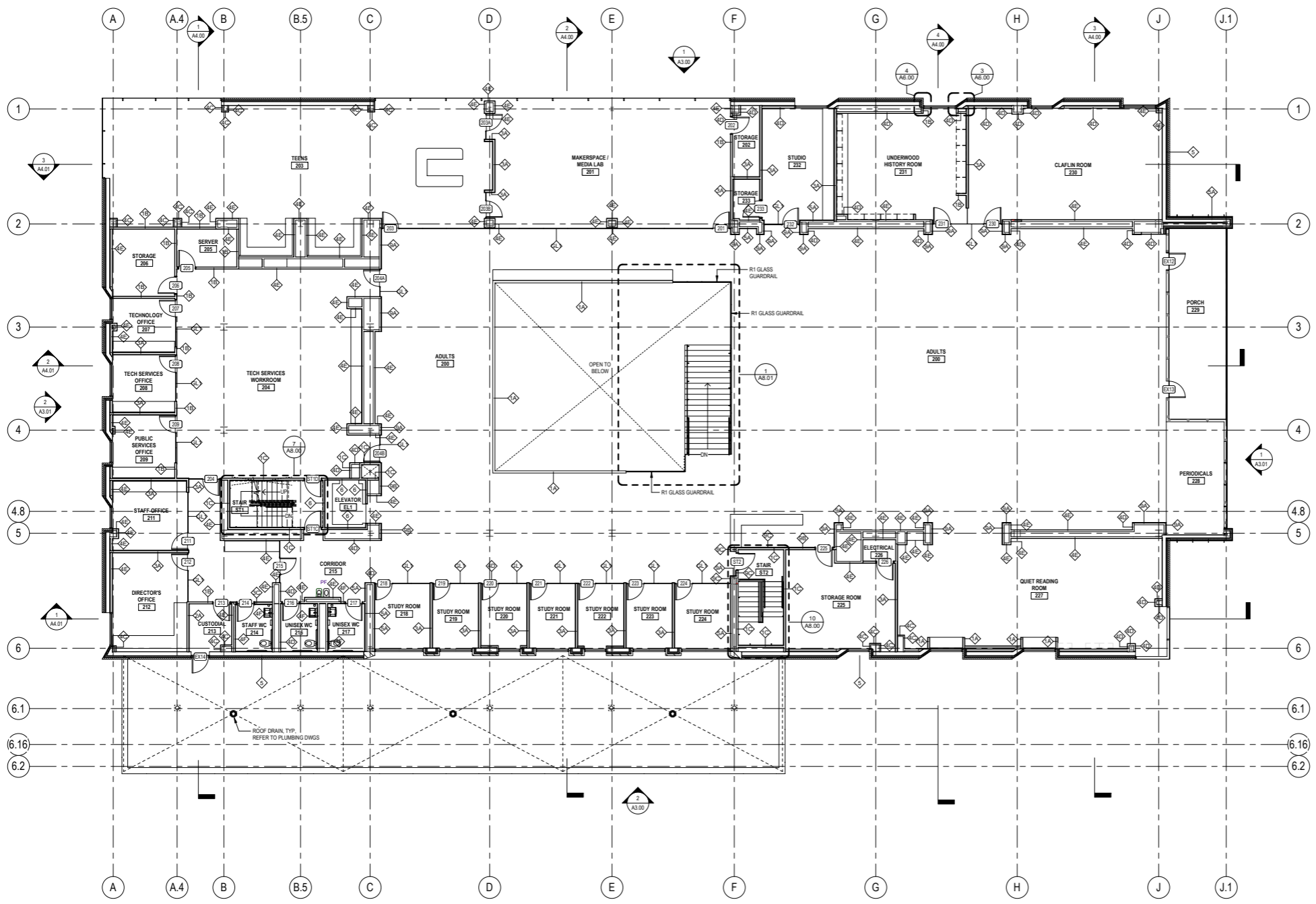
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Revision:	Date:
100% Schematic Design	08.09.2019
100% Design Development	08.30.2023

Sheet Title:  
**LEVEL 2 FLOOR PLAN**

Date:	08/02/23
Scale:	As indicated
Drawn:	Checker
Checked:	2301
Project No:	

Sheet No.:  
**A1.02**



**1 LEVEL 2 FLOOR PLAN**  
 1/8" = 1'-0"

FALL ARREST ANCHOR (RELEASED WELD TO BEAM)

**GENERAL NOTES**

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS.
- THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS SHALL NOT CONTROL THE CONTRACTOR IN DIVING THE WORK AMONG SUBCONTRACTORS OR ESTABLISHING THE EXTENT OF THE WORK. TO BE PERFORMED BY ANY TRADE UNLESS SPECIFICALLY REQUIRED.
- THE MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. IF CONFLICT IS FOUND BETWEEN DRAWINGS, GENERAL NOTES, AND SPECIFICATIONS, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF SUCH WORK. SHOULD THERE BE A DISCREPANCY BETWEEN ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION BEFORE INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, AND CONDITIONS AT THE SITE PRIOR TO COMMENCING WITH THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- DIMENSIONS ARE TYPICALLY TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- FLOOR ELEVATIONS ARE TYPICALLY TO TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.
- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 780 CMR 10TH EDITION.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACINGS, BLOCKING, BACK-UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, HAND RAILS, CHAIR RAILS, FIXTURES, AND PARTITIONS, AND WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- MECHANICAL SUPPLY AND RETURN AIR SHAFTS SHALL BE ALRIGHT AND SEALED.
- THE CONTRACTOR SHALL REVIEW THE LOCATION AND THE MOUNTING HEIGHTS OF THE TOILET ROOM ACCESSORIES WITH THE ARCHITECT AND BUILDING INSPECTOR PRIOR TO INSTALLATION TO ASSURE CORRECT POSITIONING IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- CUT PENETRATIONS OF FIRE RATED WALLS, FLOORS, OR ROOF SHALL HAVE FIRE DAMPERS PER NFPA. DAMPERS MUST BE LOCATED ON DRAWINGS.
- PENETRATIONS IN WALLS, FLOORS, OR ROOF REQUIRING PROTECTED OPENINGS SHALL BE FIRE STOPPED IN ACCORDANCE WITH NFPA.
- AIR WATER RESISTIVE BARRIER TO BE SEALED AIRTIGHT AND WATERTIGHT AT ALL PENETRATIONS.
- ALL LEGAL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, AND SHALL SWING IN THE DIRECTION OF EGRESS. SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
- NO MATERIAL OR PRODUCT SUBSTITUTIONS SHALL BE MADE FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.
- UNLESS NOTED OTHERWISE, DOORS SHALL BE LOCATED 4" FROM ADJACENT WALL.
- REFER TO A1.11, A1.12 AND SCHEDULE A8.14 FOR FINISHES.
- FURNITURE SHOWN FOR REFERENCE ONLY. NOT IN CONTRACT. REFER TO A10.01 AND A10.02 FOR SUGGESTED QUANTITIES.



Civil: Hixon Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.338.0053  
 Structural: Hixon Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.338.0053  
 Envelope: SGM, 400 Boylston St., Ste. 2020, Boston, MA 02116, T: 617.563.5600  
 Mechanical: Hixon Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.338.0053  
 MEP/FP: Hixon Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.338.0053  
 Lighting: HLB Lighting Design, 233 Lewis Wharf, Boston, MA 02110, T: 617.229.9190  
 Acoustics: Acoustic, 33 Moulton St., Cambridge, MA 02142, T: 617.469.8000  
 Specifications: Kuhn Associates, 1121 Washington St., Newton, MA 02459, T: 617.964.5477

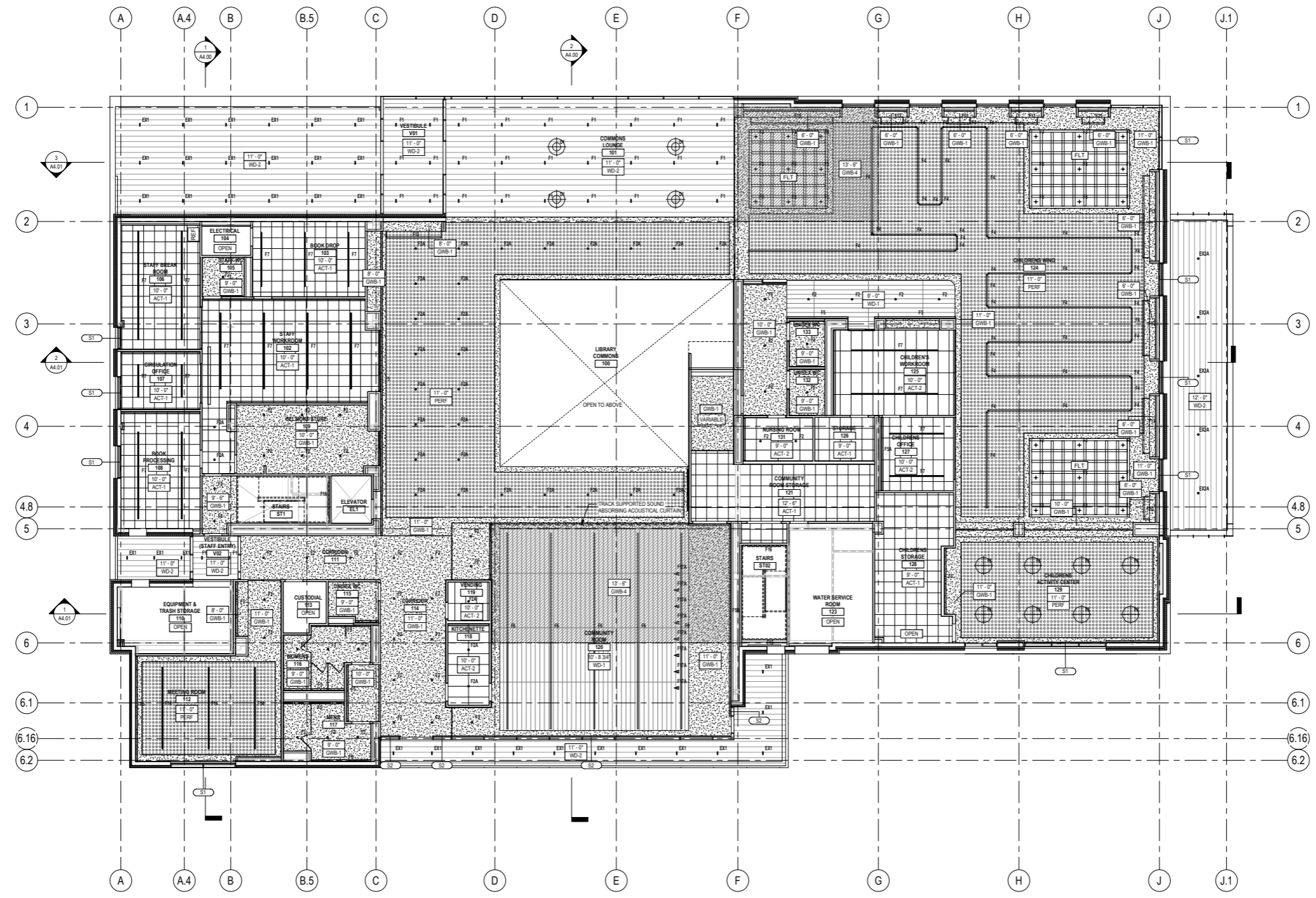
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Revision:	Date:
100% Schematic Design	08.09.2019
100% Design Development	08.30.2023

Sheet Title:  
**LEVEL 1 REFLECTED CEILING PLAN**

Date: 08/30/23  
 Scale: 1/8" = 1'-0"  
 Drawn: Author  
 Checked: Checker  
 Project No: 2301

Sheet No.:  
**A2.01**



1 LEVEL 1 REFLECTED CEILING PLAN  
 1/8" = 1'-0"

**CEILING GENERAL NOTES**

- REFER TO PROJECT MANUAL FOR LIGHTING SCHEDULE
- ALL DEVICES SHOULD BE CENTERED ON ACT TILE UNLESS NOTED OTHERWISE
- ACT SHOULD BE CENTERED IN ROOM UNLESS NOTED OTHERWISE
- ALL EXIT SIGNS ABOVE DOORS SHOULD BE CENTERED ON DOOR UNLESS NOTED OTHERWISE
- SEE SHEET A8.02 FOR CEILING ASSEMBLY TYPES
- SOUND MASKING WILL BE EMPLOYED WITHIN THE LIBRARY COMMONS (100), COMMONS LOUNGE (101), ADULT OPEN AREA (206) AND QUIET READING ROOM (227). CEILING MOUNTED DEVICE LOCATIONS TBD.

**WINDOW SHADES**

- S-1 SINGLE ROLLER SHADE, ELECTRIC
- S-2 DUAL ROLLER SHADE, ELECTRIC

**CEILING MATERIALS**

- ACT-1 2'x2' MINERAL FIBER REGULAR ACOUSTIC CEILING TILE IN SUSPENSION GRID
- ACT-2 2'x4' MINERAL FIBER REGULAR ACOUSTIC CEILING TILE IN SUSPENSION GRID
- GWB-1 (1) LAYER GWB ON STEEL STUD
- GWB-2 (2) LAYERS GWB ON STEEL STUD, X RATING
- GWB-4 SOUND BARRIER CEILING - (2) LAYERS GWB ABOVE THE FINISHED CEILING, MOUNTED BETWEEN STEEL MEMBERS - WEB TO WEB, SEALED
- HPL-2 HIGH PRESSURE LAMINATE SIDING
- PERF HIGH DENSITY PERFORATED ACOUSTIC GYPSUM BOARD
- FLT RECYCLED PET FELT GRILLE, HIGH NRC
- WD-1 WOOD GRILLE W/ BLACK, HIGH-DENSITY FIBERGLASS ACOUSTIC BACKING
- WD-2 WOOD CEILING, TONGUE & GROOVE, ON HANGERS OR STEEL STUD
- WD-3 VENEERED PLYWOOD PANELING, ON STEEL STUD



Civil: Naco Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.238.0003  
 Structural: Naco Engineering, 2 Center Plaza, Ste. 430, Boston, MA 02108, T: 617.238.0003  
 Envelope: SPM, 800 Boylston St., Ste. 2020, Boston, MA 02119, T: 617.563.5600  
 Mechanical: SPM, 800 Boylston St., Ste. 2020, Boston, MA 02119, T: 617.563.5600  
 MEP/FP: WSP, 100 Summer St., 13th Fl., Boston, MA 02110, T: 617.429.7300  
 Lighting: HLB Lighting Design, 233 Lewis Wharf, Boston, MA 02110, T: 617.229.9190  
 Acoustics: Acoustic, 33 Mather St., Cambridge, MA 02138, T: 617.469.8000  
 Specifications: Kalm Associates, 1121 Washington St., Newton, MA 02459, T: 617.964.5477

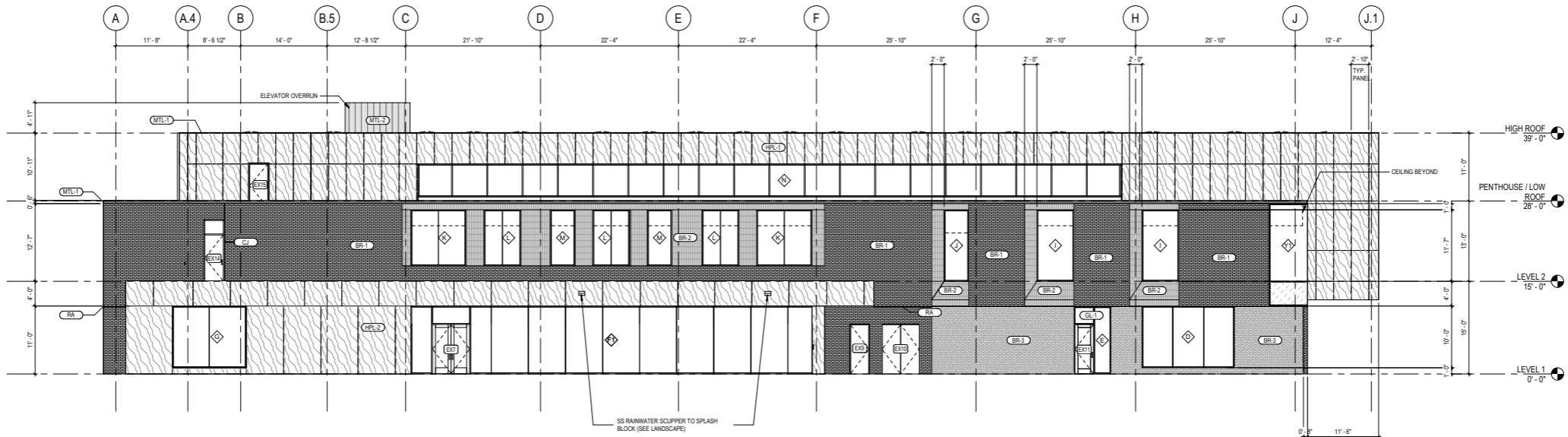
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100% Schematic Design	08.09.2019
100% Design Development	08.30.2023

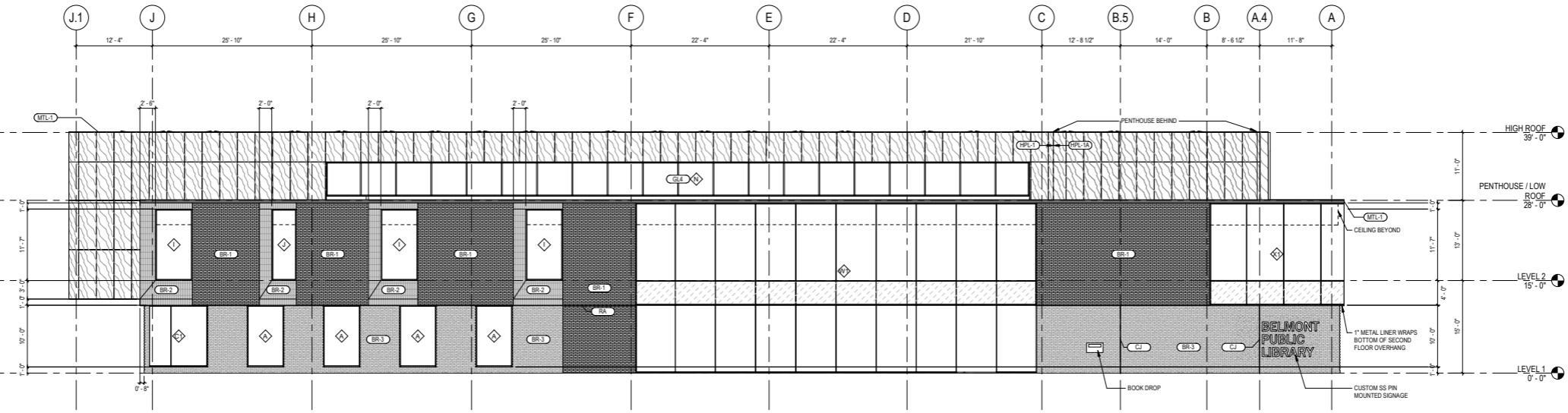
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**EXTERIOR ELEVATIONS**

Date: 06/03/23  
 Scale: 1/8" = 1'-0"  
 Drawn: Author  
 Checked: Checker  
 Project No: 2301

Sheet No.: **A3.00**



2 SOUTH BUILDING ELEVATION  
 1/8" = 1'-0"



1 NORTH BUILDING ELEVATION  
 1/8" = 1'-0"

**EXTERIOR MATERIALS**

- BR-1** SIOUX CITY 'CABERNET BURGUNDY', NORMAN SIZE, RUNNING BOND (TYP ASSEMBLY: EXT 1A9.00)
- GPL-1** HIGH PRESSURE LAMINATE PANEL W/ VERTICAL FIN - EXT 4
- BR-2** SIOUX CITY 'CABERNET BURGUNDY', NORMAN SIZE, VERTICAL STACKED BOND - EXT-1
- GPL-1a** HIGH PRESSURE LAMINATE PANEL W/ VERTICAL FIN W/ INSULATION - EXT-4
- BR-3** SIOUX CITY 'CABERNET BURGUNDY', NORMAN SIZE, RUNNING BOND WITH 1" RECESS ALTERNATING COURSES - EXT-1A
- GPL-2** HIGH PRESSURE LAMINATE SIDING - EXT-4A
- MTL-1** PREFORMED ALUM. COPING
- RA** BRICK RELIEVING ANGLE WITH LIPPED BRICK
- MTL-2** METAL WALL PANEL - EXT-3
- CJ** BRICK CONTROL JOINT



Civil, Mechanical, Electrical, Plumbing, Fire Protection, and Energy Engineering  
 100% Schematic Design  
 100% Design Development  
 100% Construction Documents

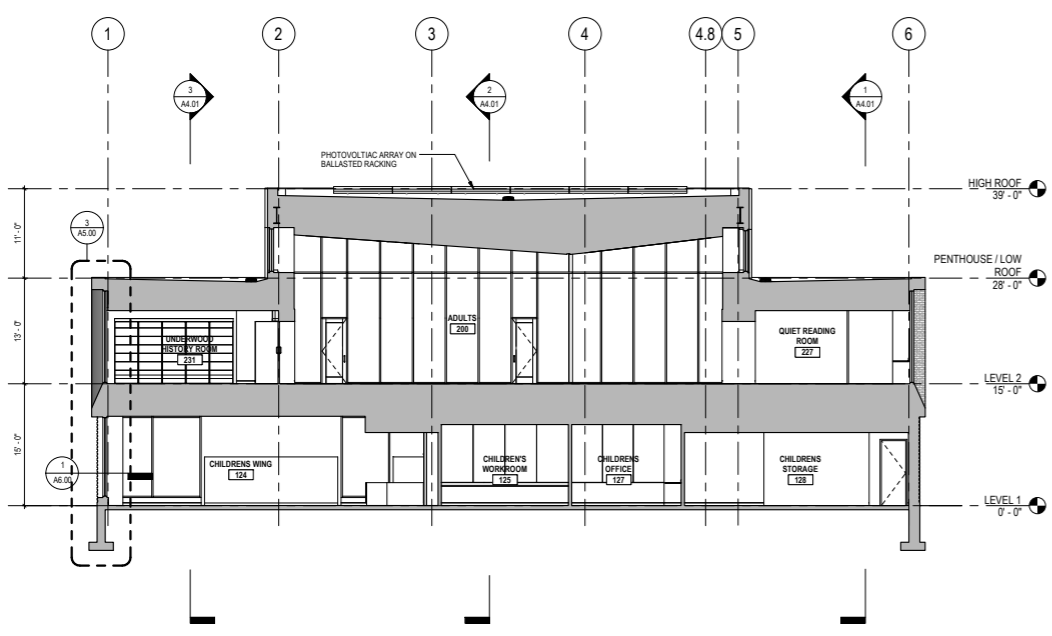
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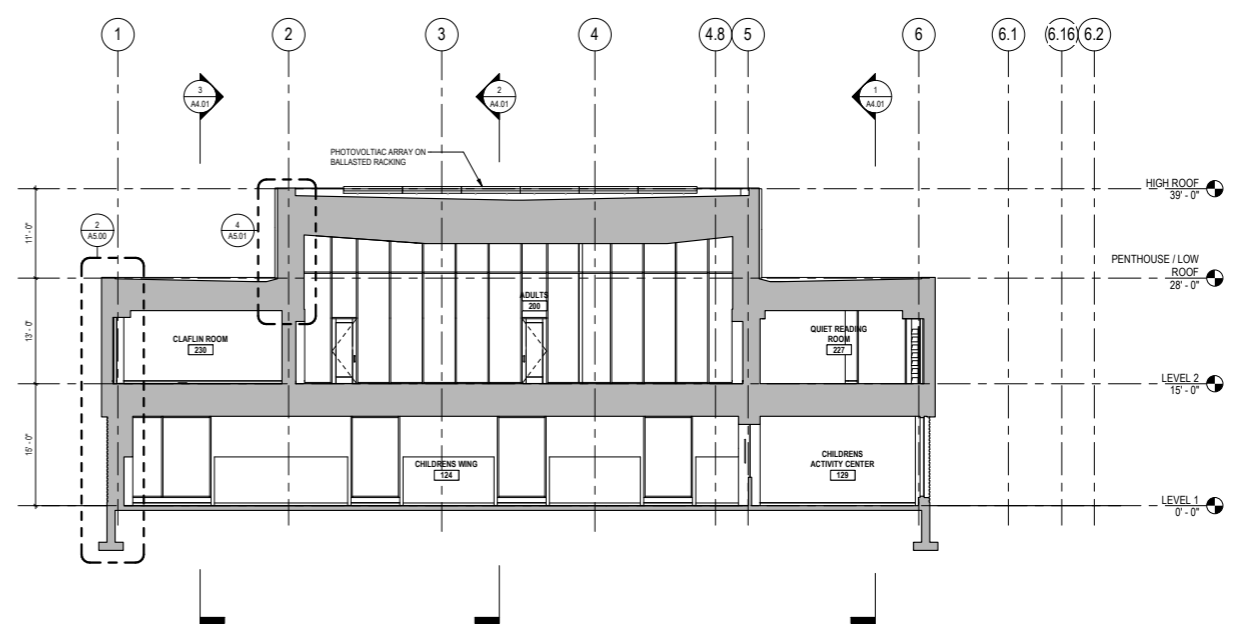
**BUILDING SECTIONS**

Sheet No.: 000/023  
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 Scale: Author  
 Drawn: Checker  
 Checked: 2301  
 Project No:

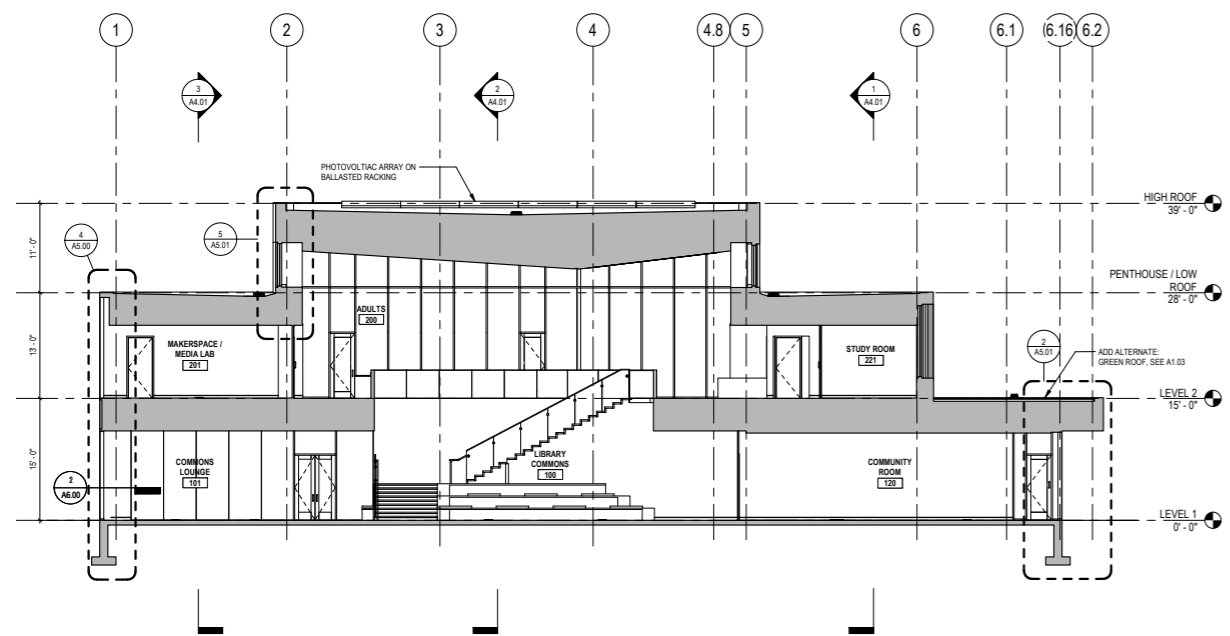
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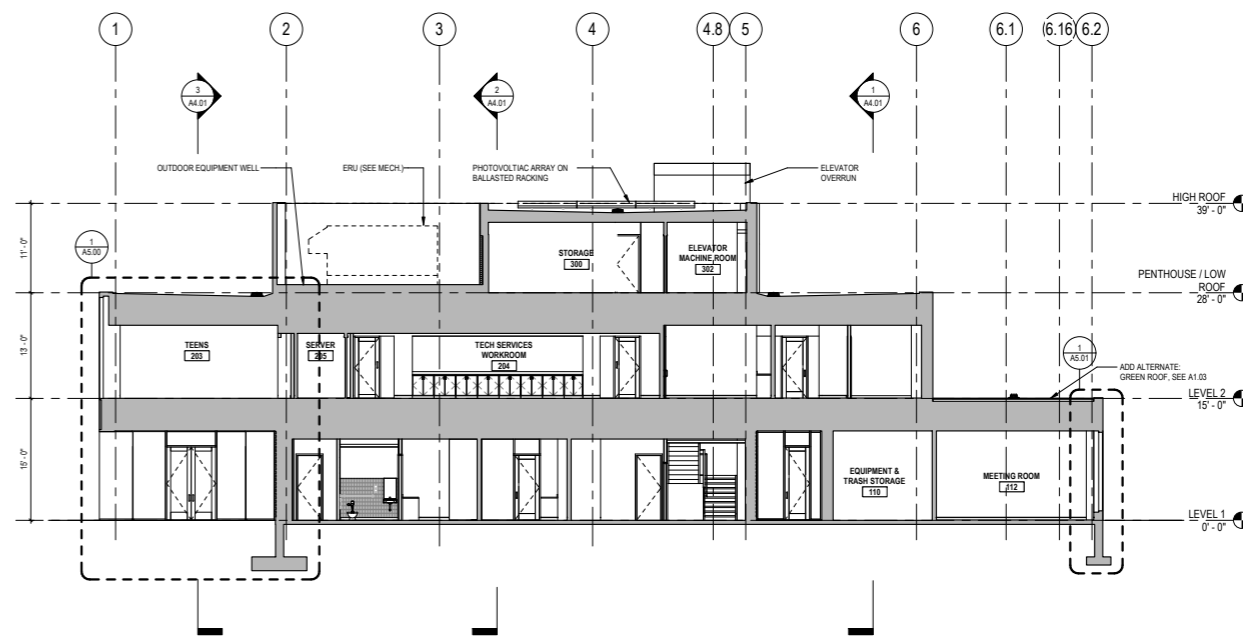
**4 BUILDING SECTION 4**  
 1/8" = 1'-0"



**3 BUILDING SECTION 3**  
 1/8" = 1'-0"



**2 BUILDING SECTION 2**  
 1/8" = 1'-0"



**1 BUILDING SECTION 1**  
 1/8" = 1'-0"

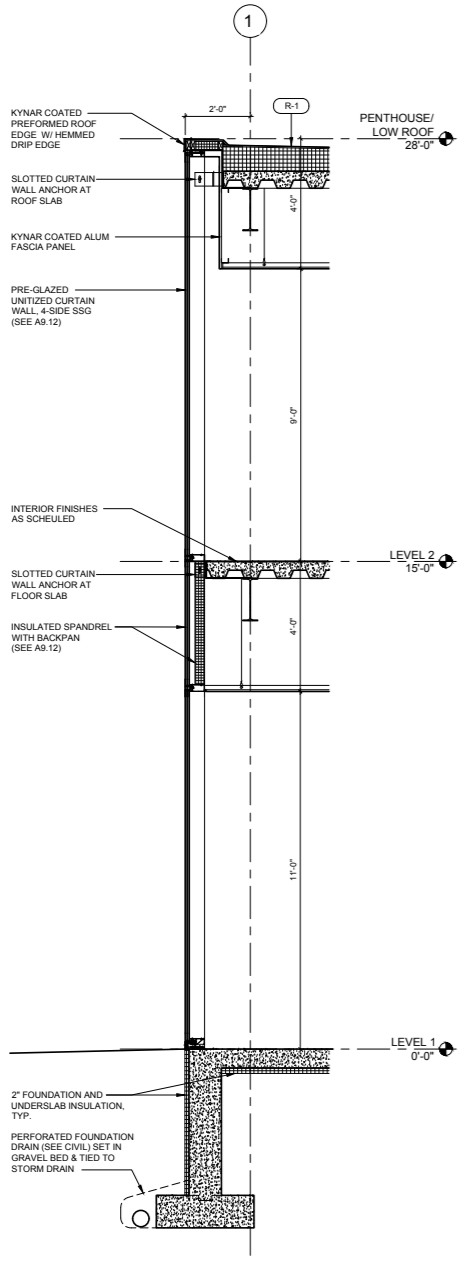
Revision:	Date:
100% Schematic Design	08.09.2019
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Sheet Title:

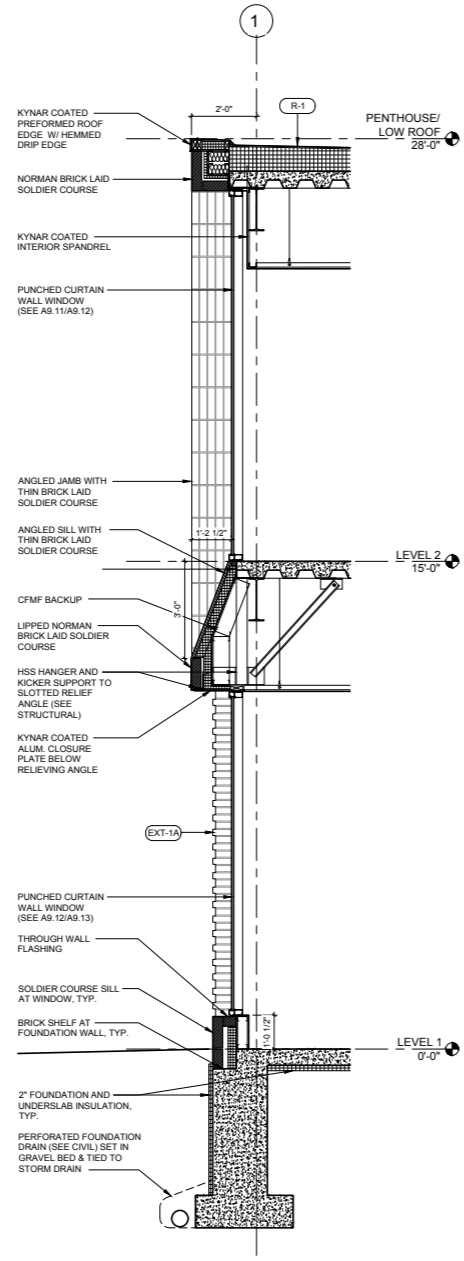
**WALL SECTIONS**

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Drawn:	NM
Checked:	NM
Project/NC:	2001

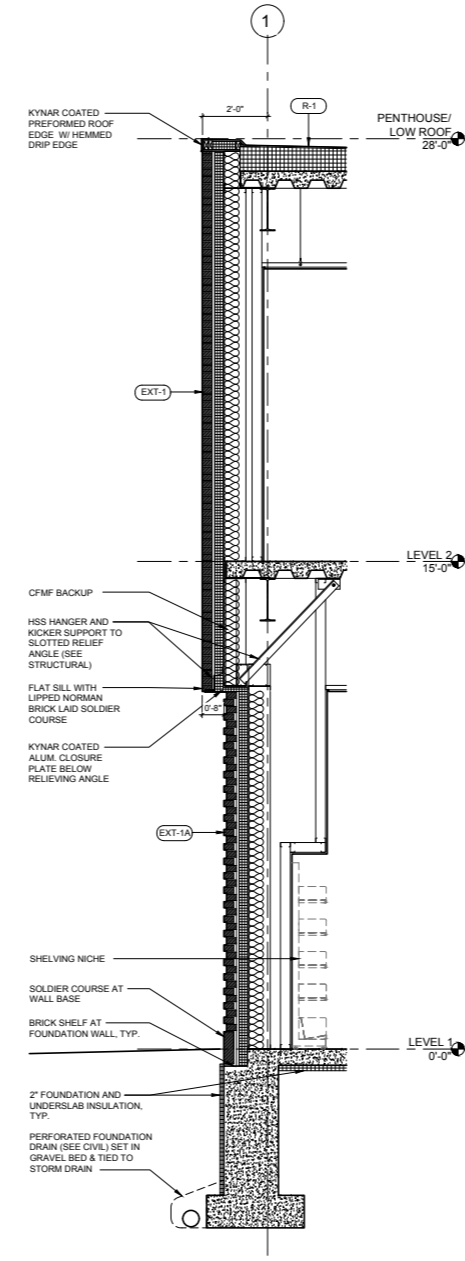
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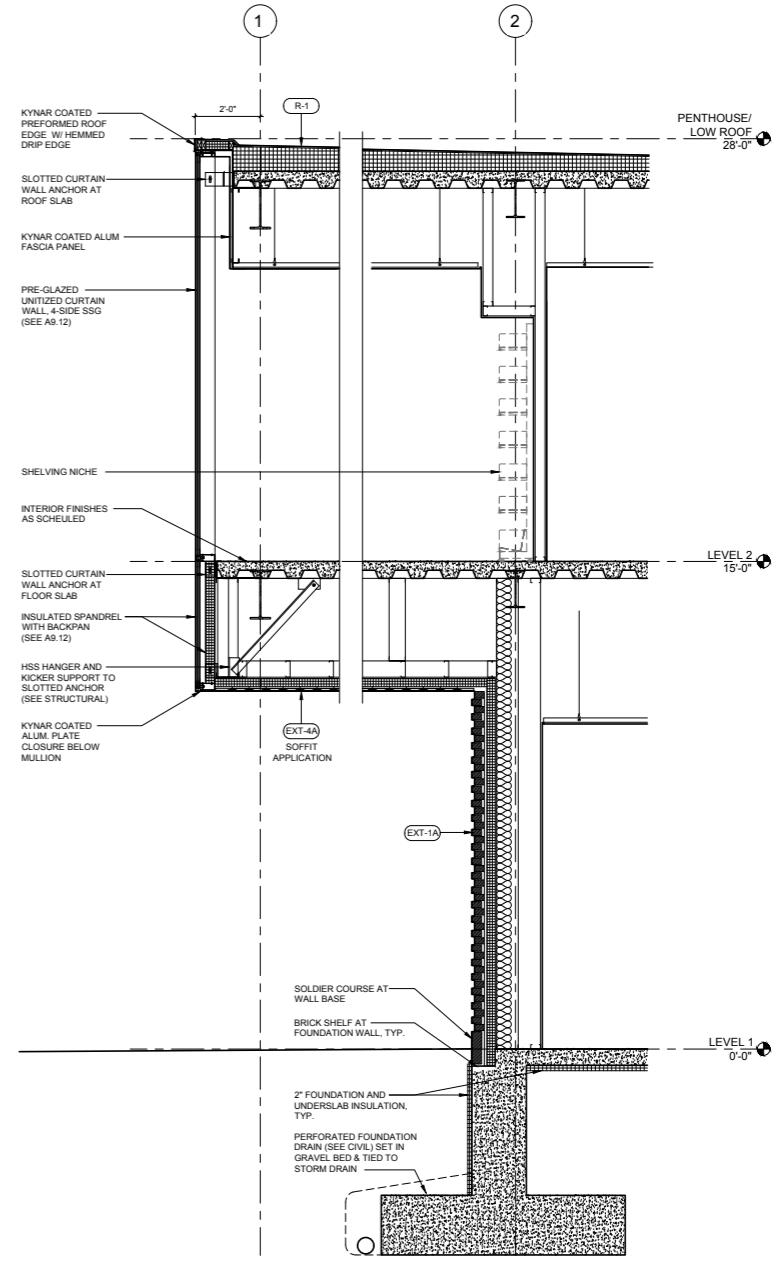
4 WALL SECTION - TYP. CURTAIN WALL  
 1/2" = 1'-0"



3 WALL SECTION - TYP. PUNCHED WINDOWS  
 1/2" = 1'-0"



2 WALL SECTION - TYP. BRICK  
 1/2" = 1'-0"



1 WALL SECTION - ENTRANCE  
 1/2" = 1'-0"

XX REFER TO A9.0 FOR EXTERIOR WALL AND ROOF ASSEMBLIES



Civil: Natch Engineering, 2 Center Plaza, Ste 430, Boston, MA 02108 T: 617.238.0063  
 Landscape: Stream, 288 North St., Cambridge, MA 02139 T: 617.476.6960  
 Envelope: S/H, 600 Boylston St., Ste. 220, Boston, MA 02116 T: 617.863.5400  
 Mechanical: S/H, 100 South St., Boston, MA 02110 T: 617.452.7210  
 Lighting: H/L, Lighting Design, 233 Lewis Ward, Boston, MA 02110 T: 617.229.9190  
 Acoustics: Acoustics, 33 Morton St., Cambridge, MA 02142 T: 617.469.8200  
 Specifications: Klein Associates, 1121 Washington St., Newton, MA 02459 T: 617.864.5477

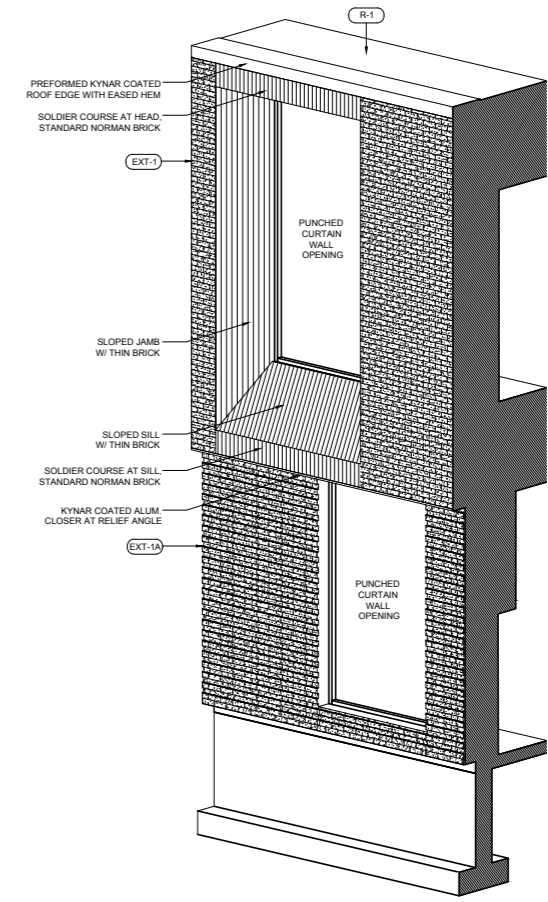
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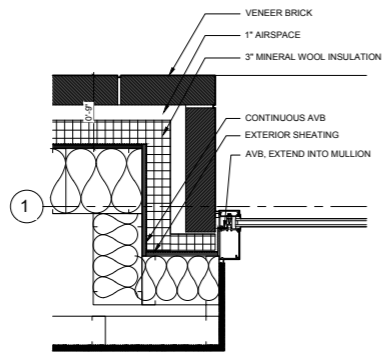
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**TYPICAL EXTERIOR DETAILS**

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Drawn:	NM
Checked:	NM
Project No:	2201

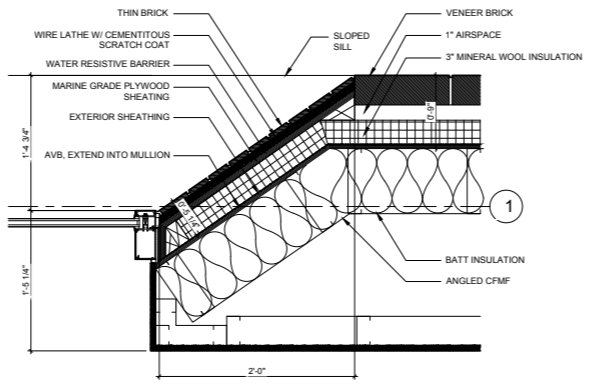
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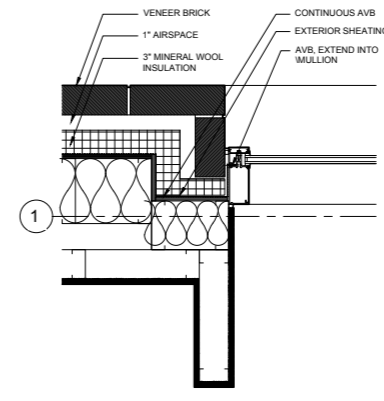
5 AXON - TYP. BRICK WALL AND WINDOW



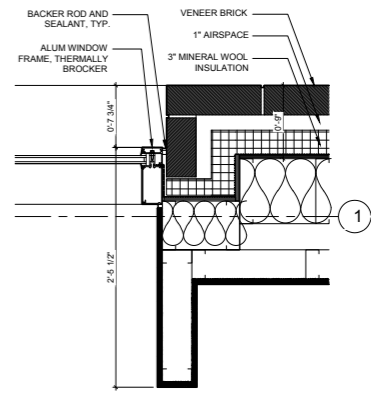
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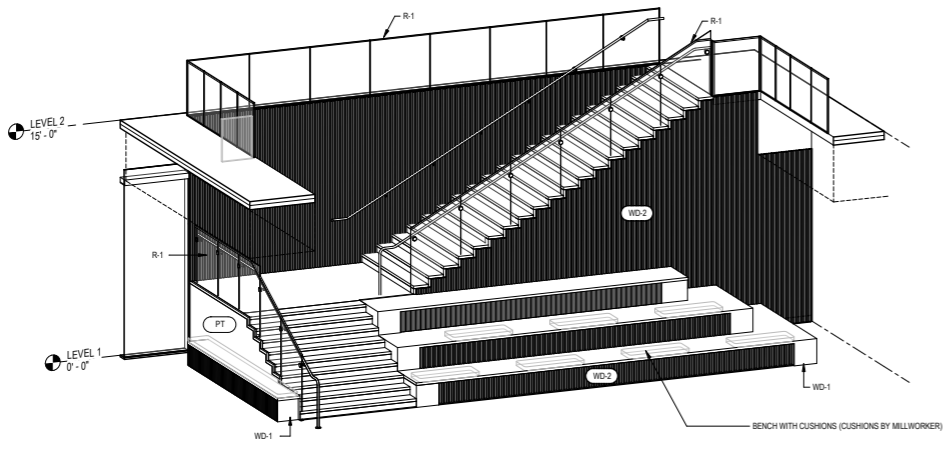
3 PLAN DETAIL - LVL 2 WINDOW JAMB A  
 1 1/2" = 1'-0"



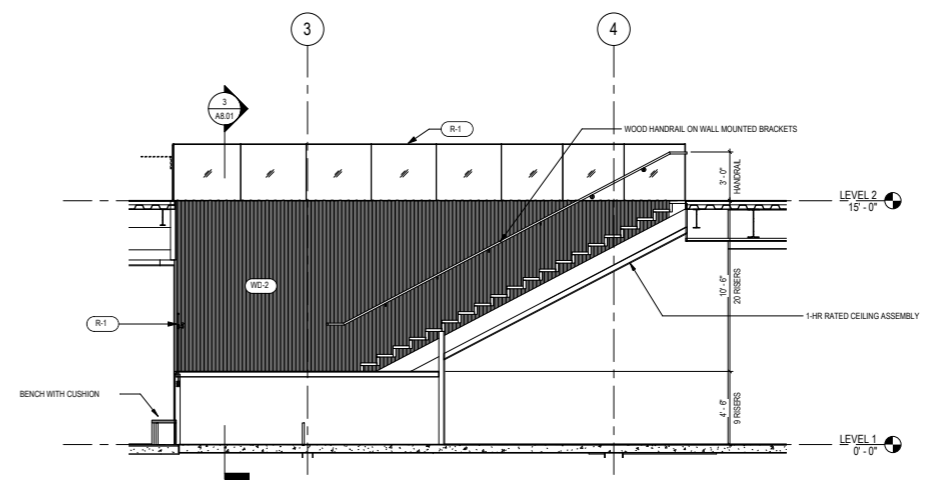
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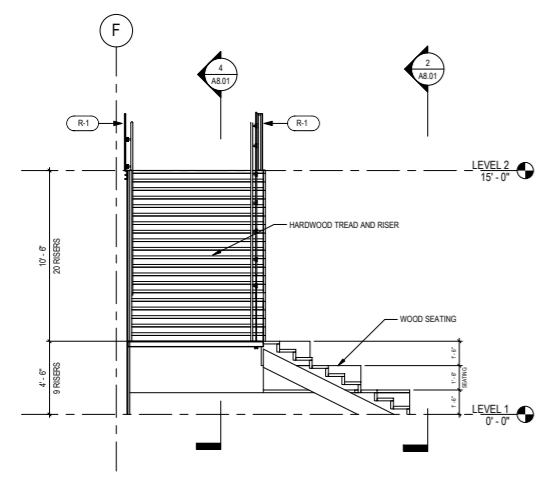
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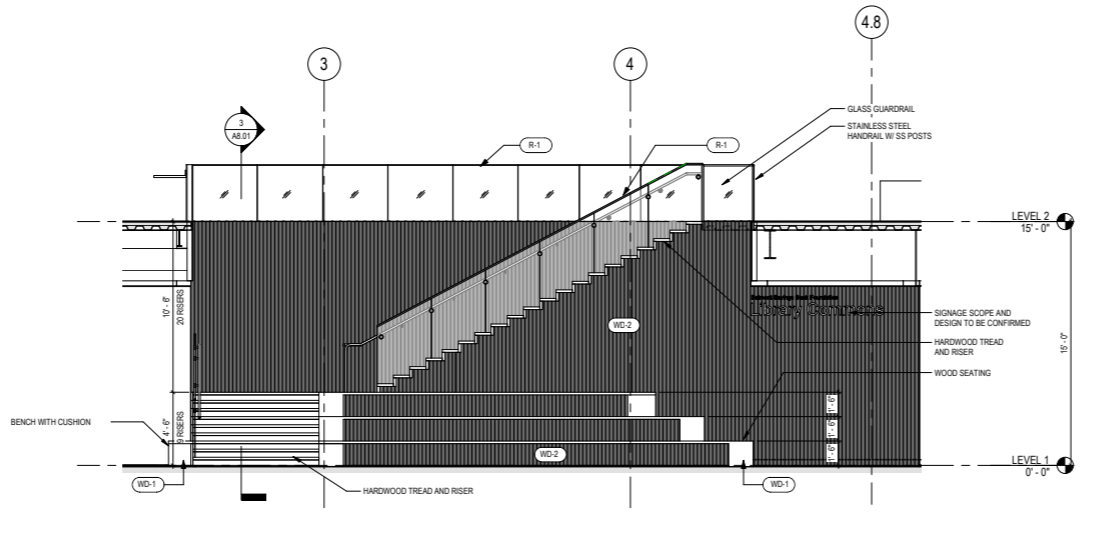
5 COMMONS STAIR - 3D VIEW



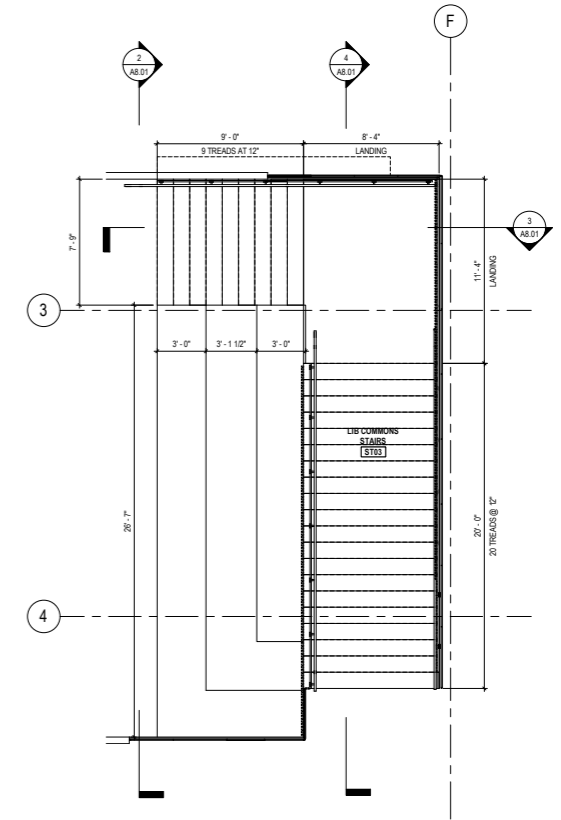
4 COMMONS STAIR - SECTION 2  
1/4" = 1'-0"



3 COMMONS STAIR - SECTION 1  
1/4" = 1'-0"



2 COMMONS STAIR - ELEVATION  
1/4" = 1'-0"



1 COMMONS STAIR - PLAN  
1/4" = 1'-0"

Civil: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Structural: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Mechanical: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Electrical: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Plumbing: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Fire: Hixon Engineering, 2 Center Plaza, Ste. 420, Boston, MA 02108, T: 617.238.0063  
 Lighting: HLB Lighting Design, 233 Lewis Wharf, Boston, MA 02110, T: 617.229.9190  
 MEP/FP: WSP, 100 Summer St., 13th Fl., Boston, MA 02110, T: 617.429.7200  
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Sheet Title:  
**LIB COMMONS STAIR PLANS AND DETAILS**

Date:	06/03/23
Scale:	1/4" = 1'-0"
Drawn:	Author
Checked:	Checker
Project No:	2301

Sheet No.:  
**A8.01**

Revision:	Date:
100% Schematic Design	08.09.2019
100% Design Development	08.30.2023

Sheet Title: \_\_\_\_\_

Sheet No.: 000/023

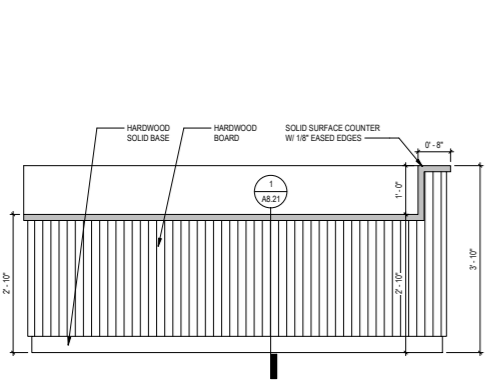
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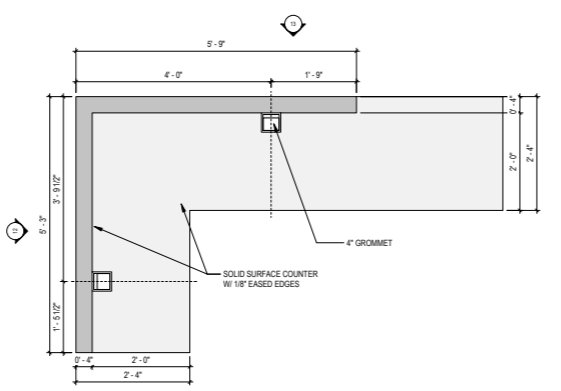
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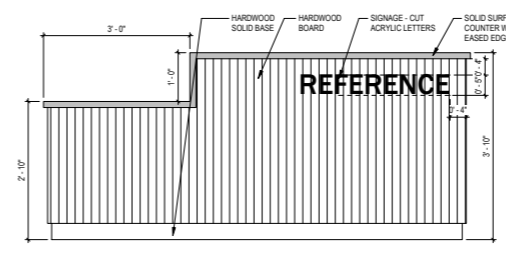
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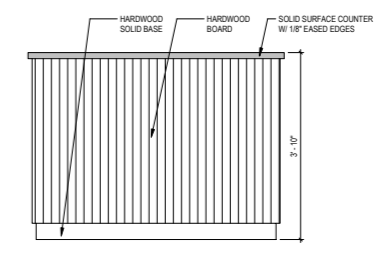
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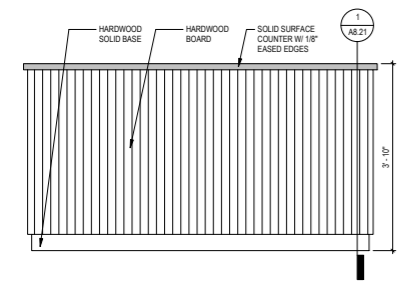
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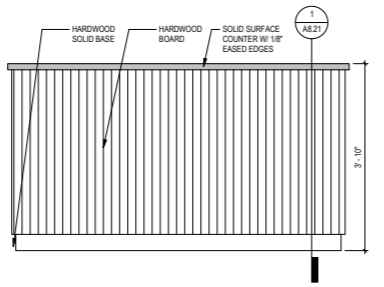
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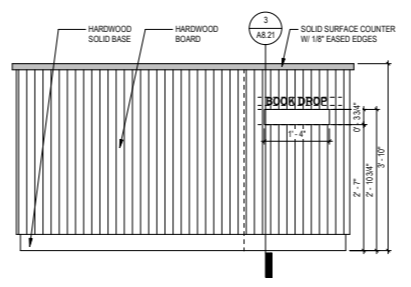
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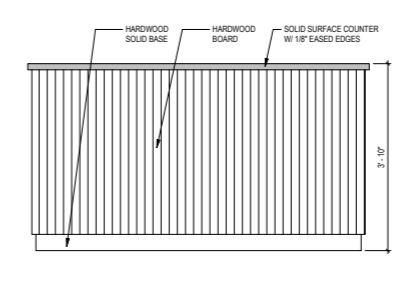
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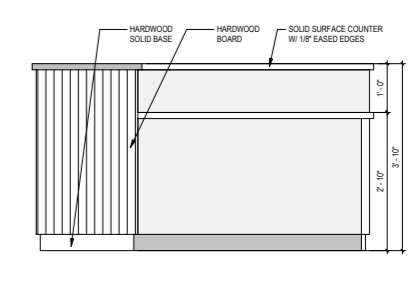
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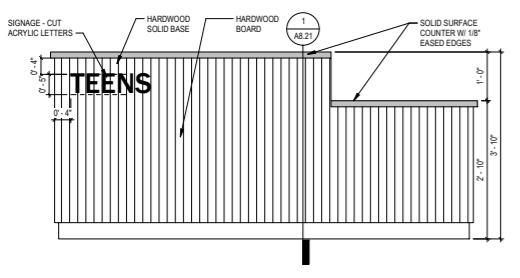
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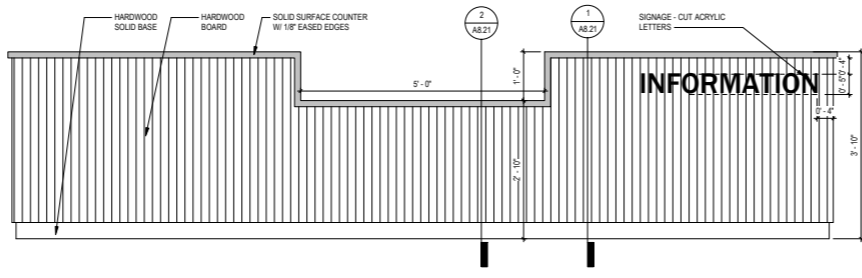
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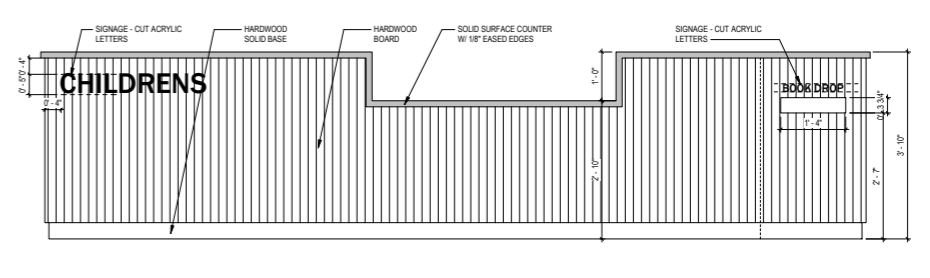
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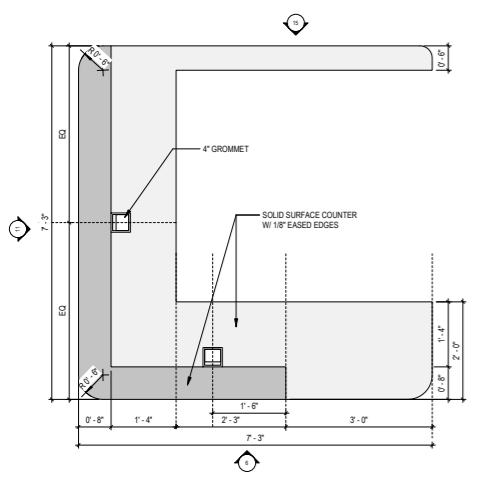
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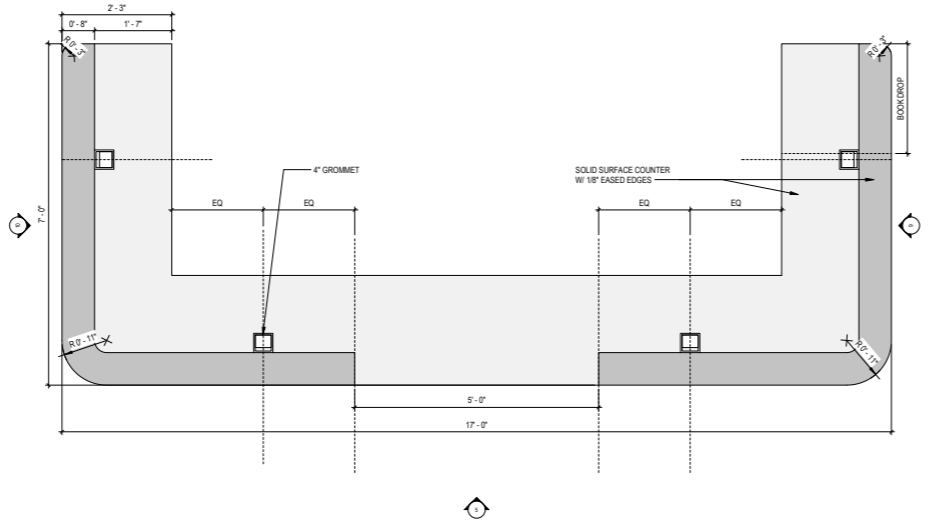
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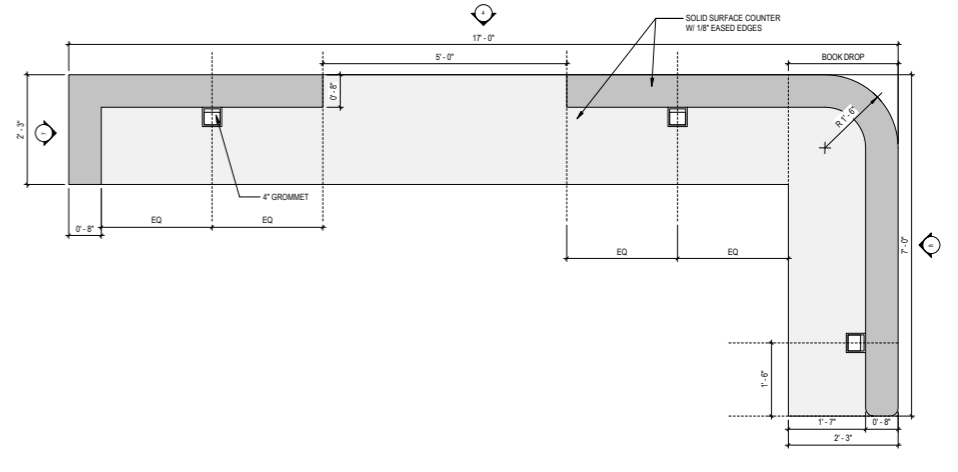
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3 203 TEENS CIRC DESK - PLAN  
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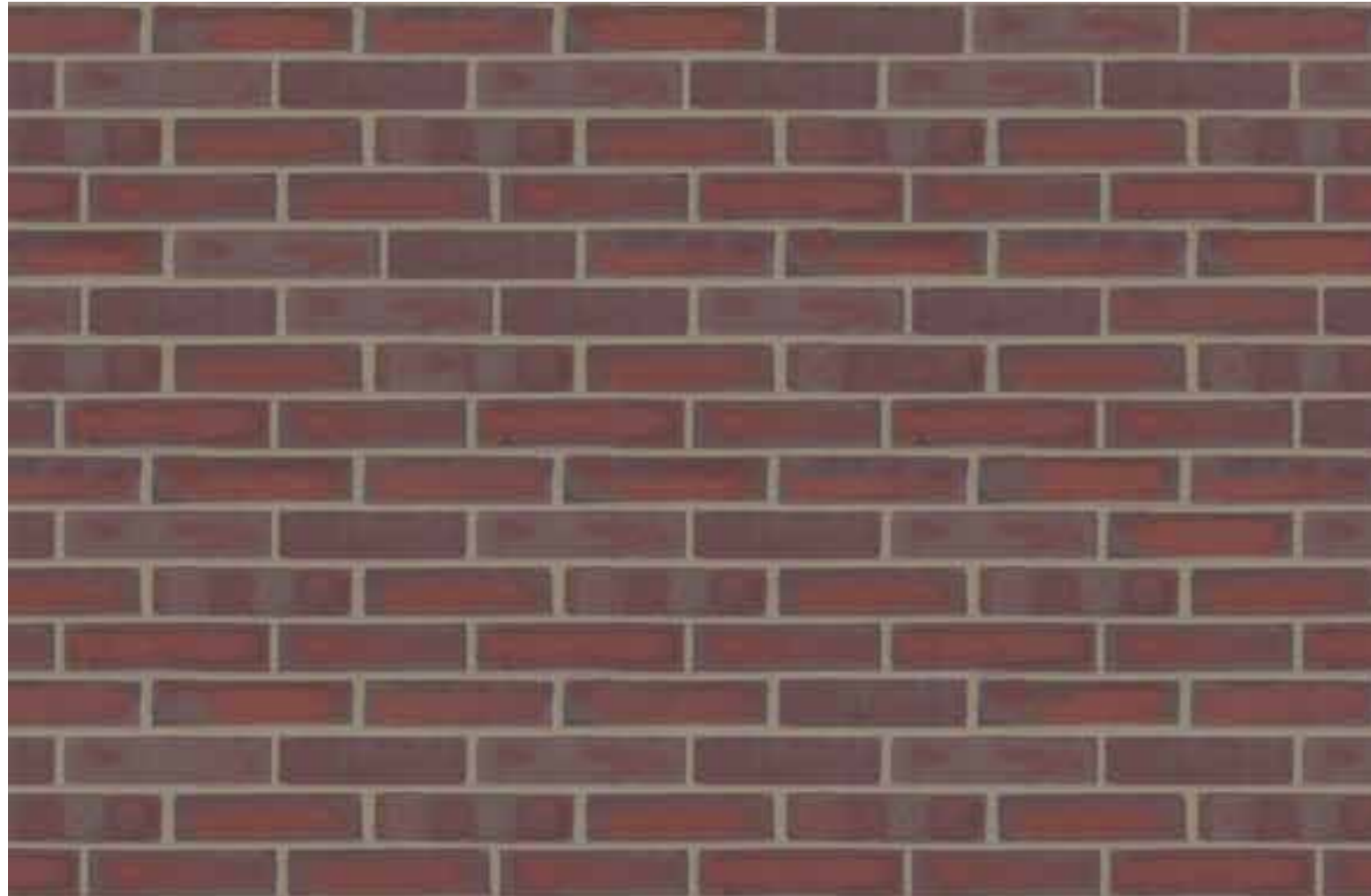
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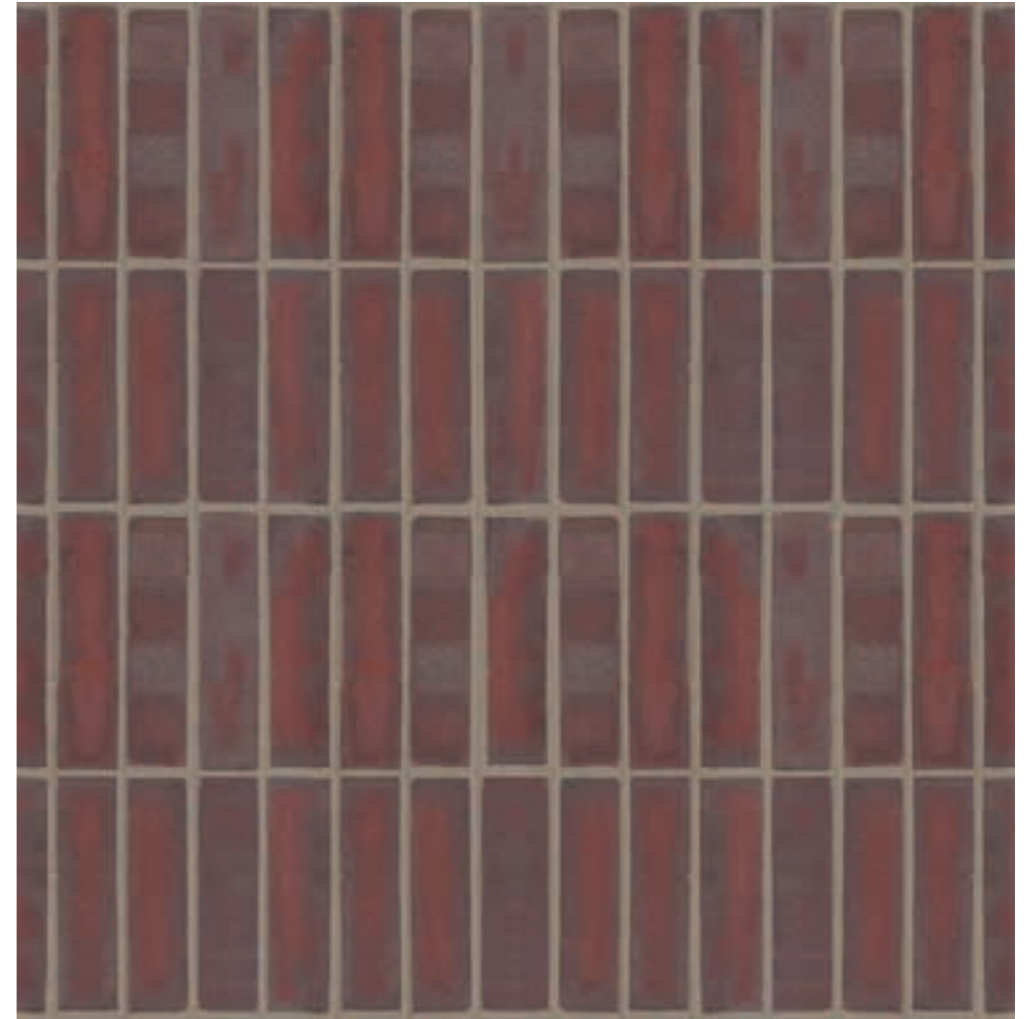
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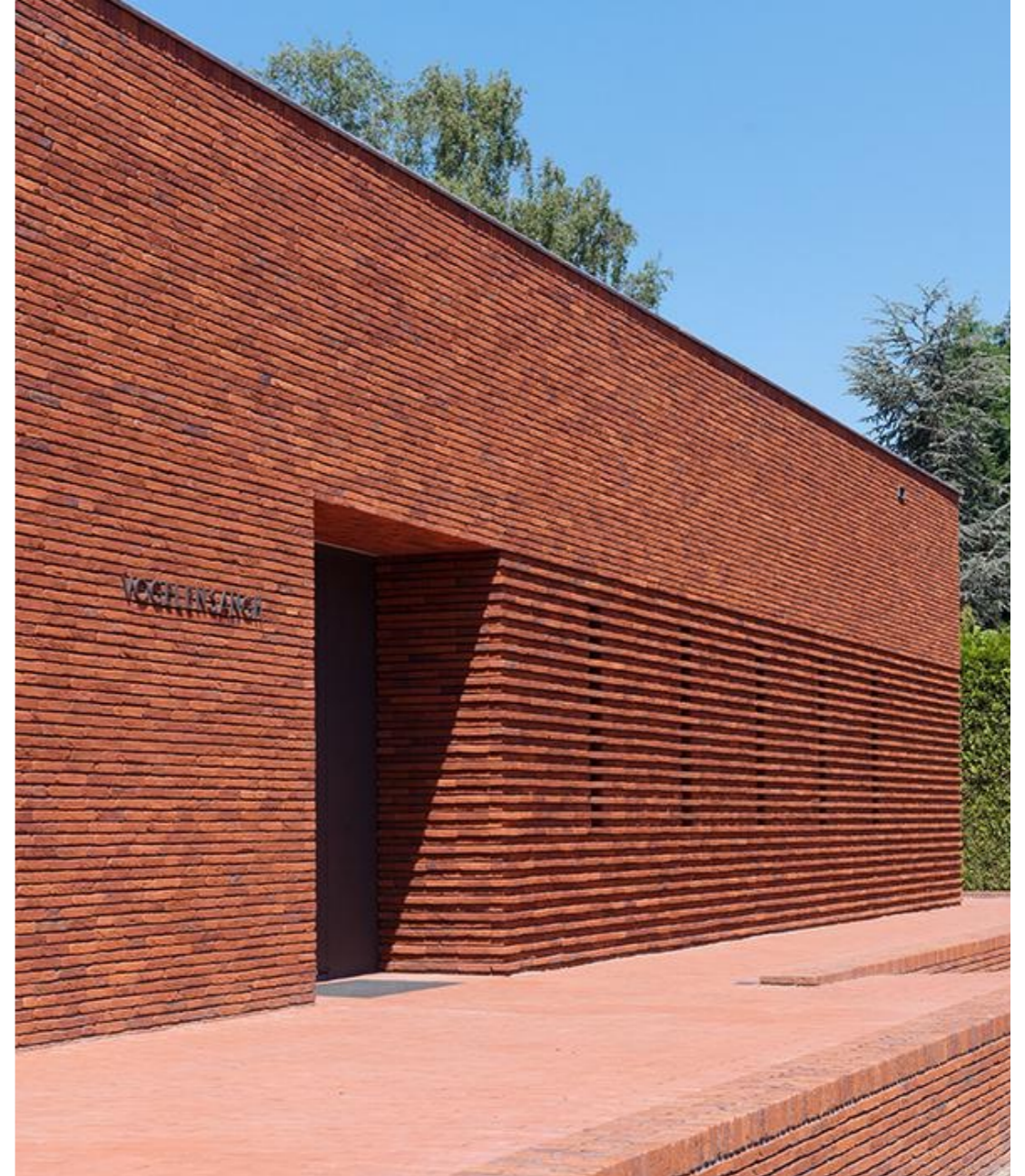
Sioux City 'Cabernet Burgundy'  
Running Bond



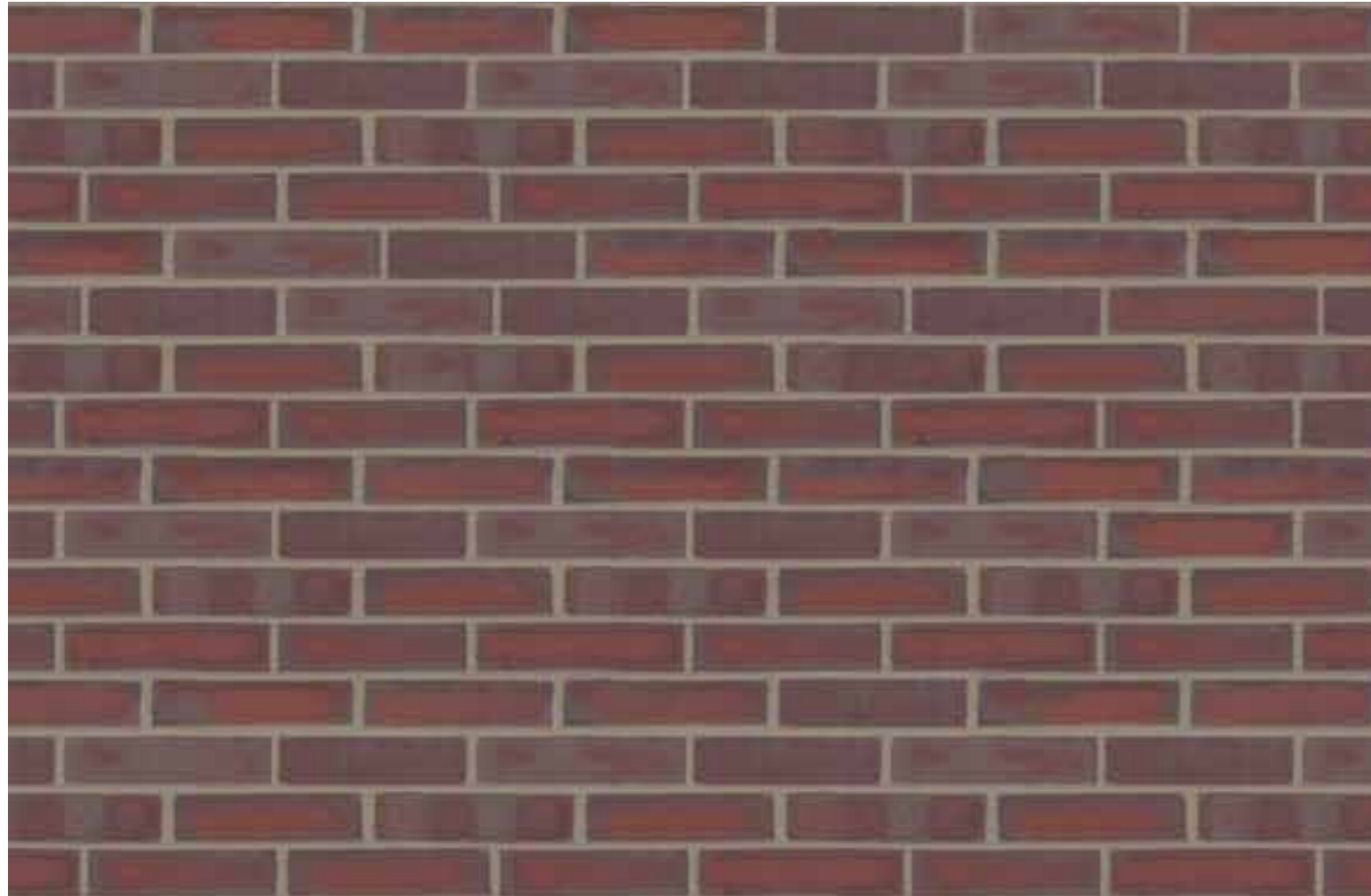
Sioux City 'Cabernet Burgundy'  
Stack Bond



Recessed Alternating Courses



Recessed Alternating Courses combined with Flush Brick



Sioux City 'Cabernet Burgundy'  
Running Bond



Fundermax 'Enigma' Natural

**Exterior Materials** Brick Masonry & HPL Panel



Fundermax Panel Installation (Beaver Country Day School)



## Exterior Materials HPL Panel



**Exterior View** Concord Avenue



**Exterior View** Southeast Corner at Meeting & Community Room



**Exterior View** Underwood Lawn





**Interior View** Library Commons



Interior View Adults Room



**Interior View** Information Desk in Commons



**Interior View** Reference Desk on Second Floor

Vending

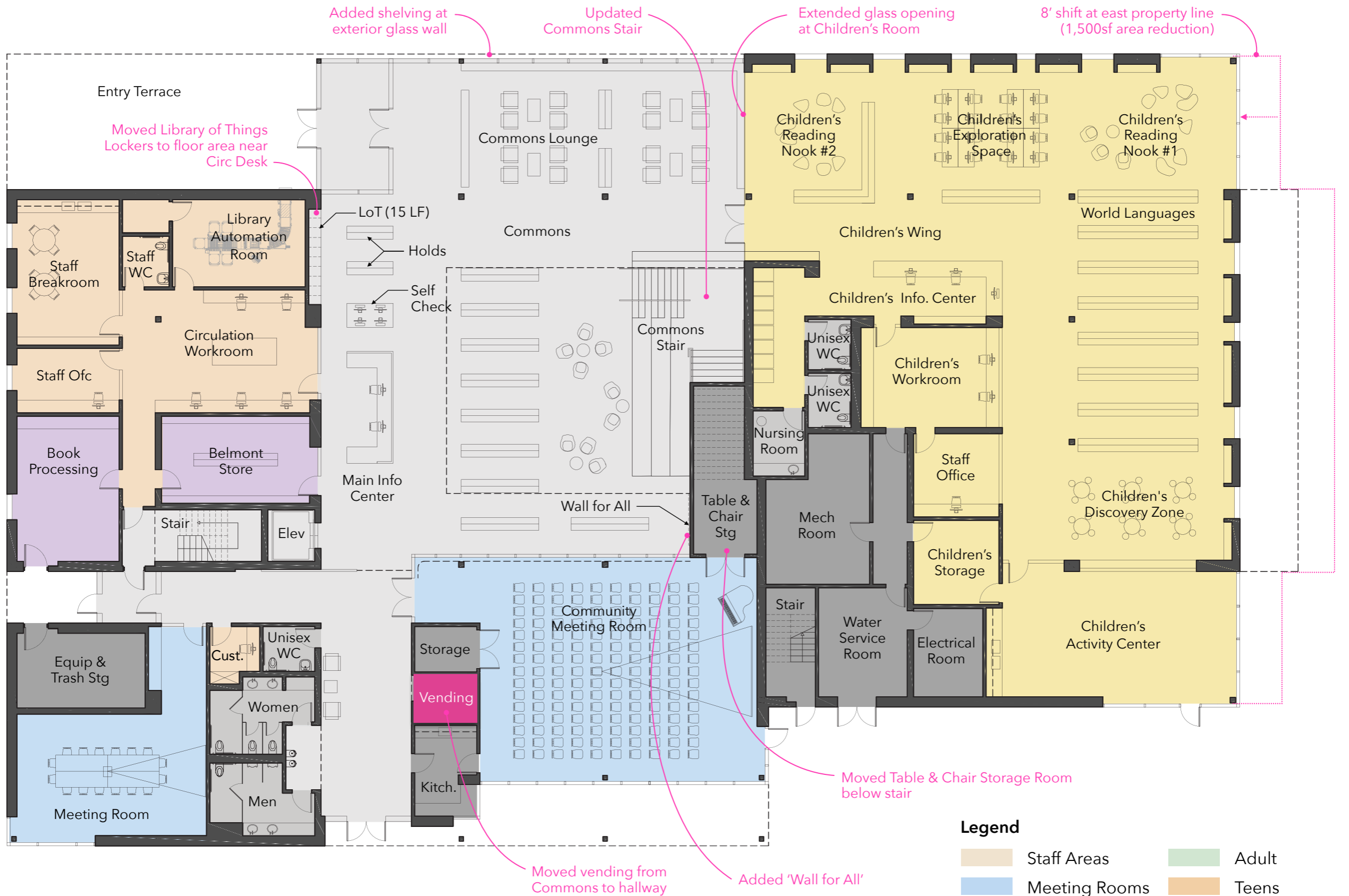


Cafe



Grab & Go





**Legend**

- Staff Areas
- Meeting Rooms
- Friends
- Local History
- Adult
- Teens
- Children's
- Periodicals

**Ground Floor Plan 30% DD** Vending



**Legend**

- |  |  |
|--|--|
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| <span style="display: inline-block; width: 15px; height: 15px; background-color: #66b3ff; border: 1px solid black; margin-right: 5px;"></span> Meeting Rooms | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ffcc99; border: 1px solid black; margin-right: 5px;"></span> Teens       |
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| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90ee90; border: 1px solid black; margin-right: 5px;"></span> Local History | <span style="display: inline-block; width: 15px; height: 15px; background-color: #add8e6; border: 1px solid black; margin-right: 5px;"></span> Periodicals |

**Ground Floor Plan 30% DD** Grab & Go Option

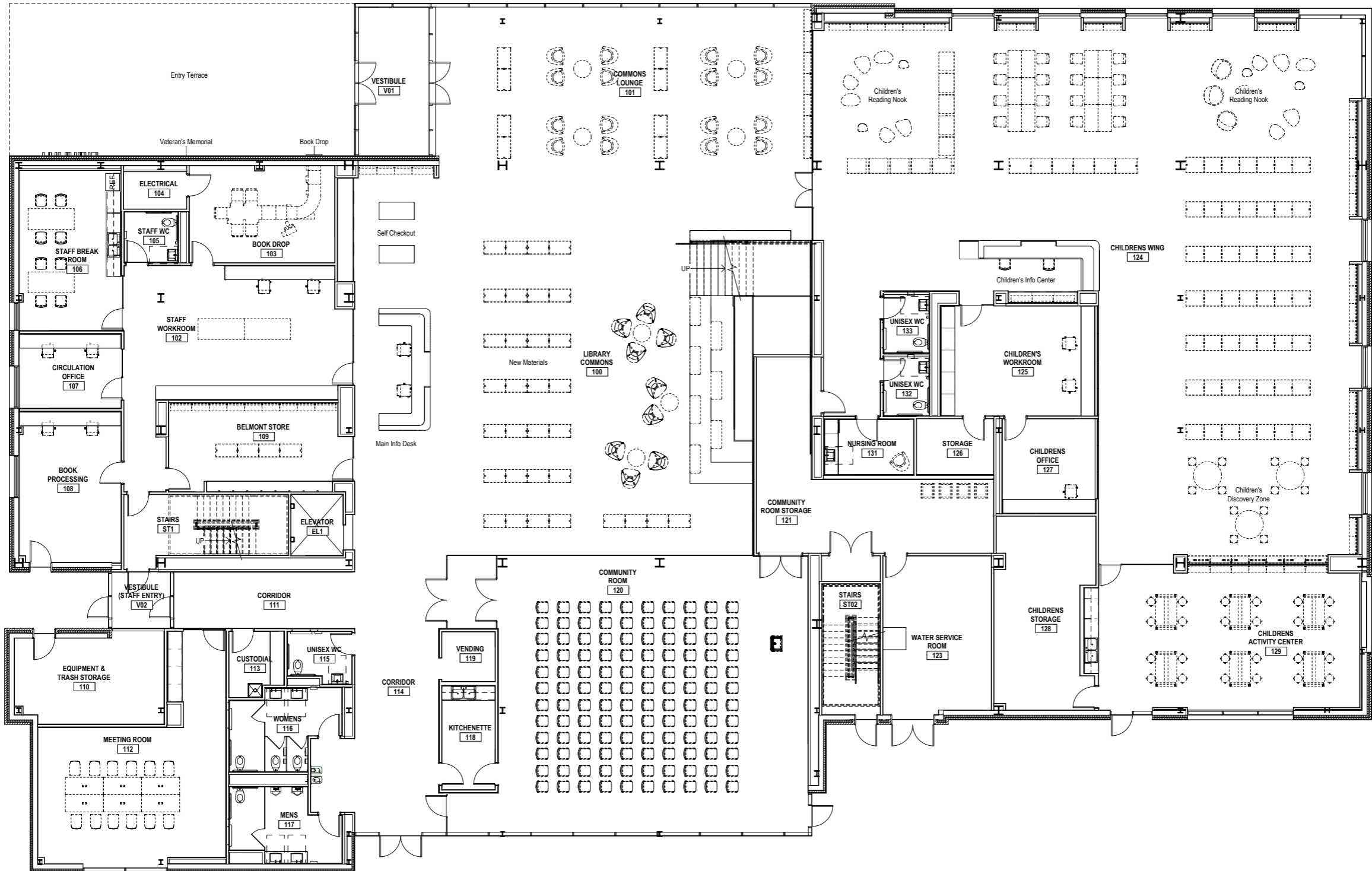


**Legend**

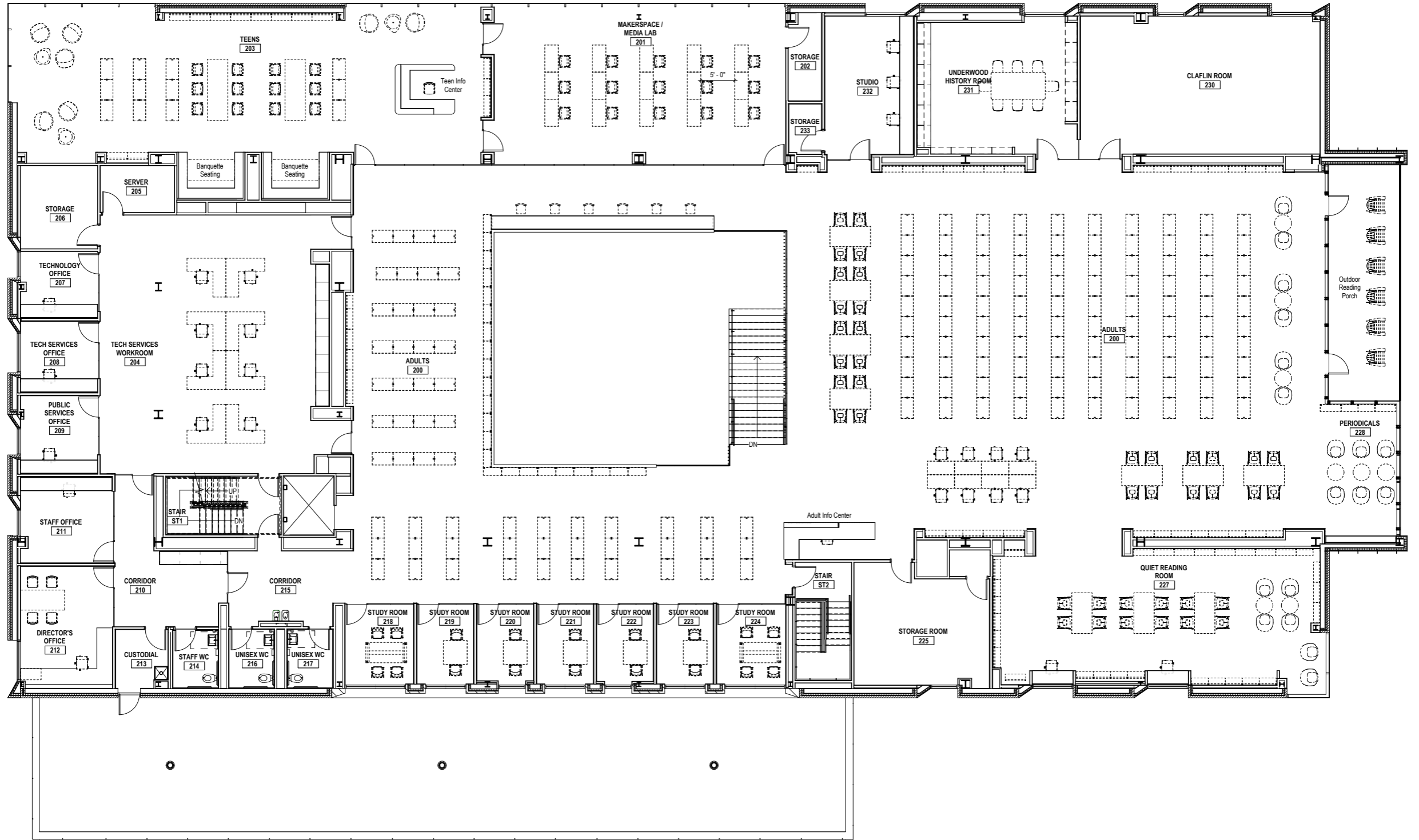
- Staff Areas
- Adult
- Meeting Rooms
- Teens
- Friends
- Children's
- Local History
- Periodicals

**Ground Floor Plan 30% DD** Cafe Option





Ground Floor Plan 100% DD



Second Floor Plan 100% DD



Oudens Ello Architecture